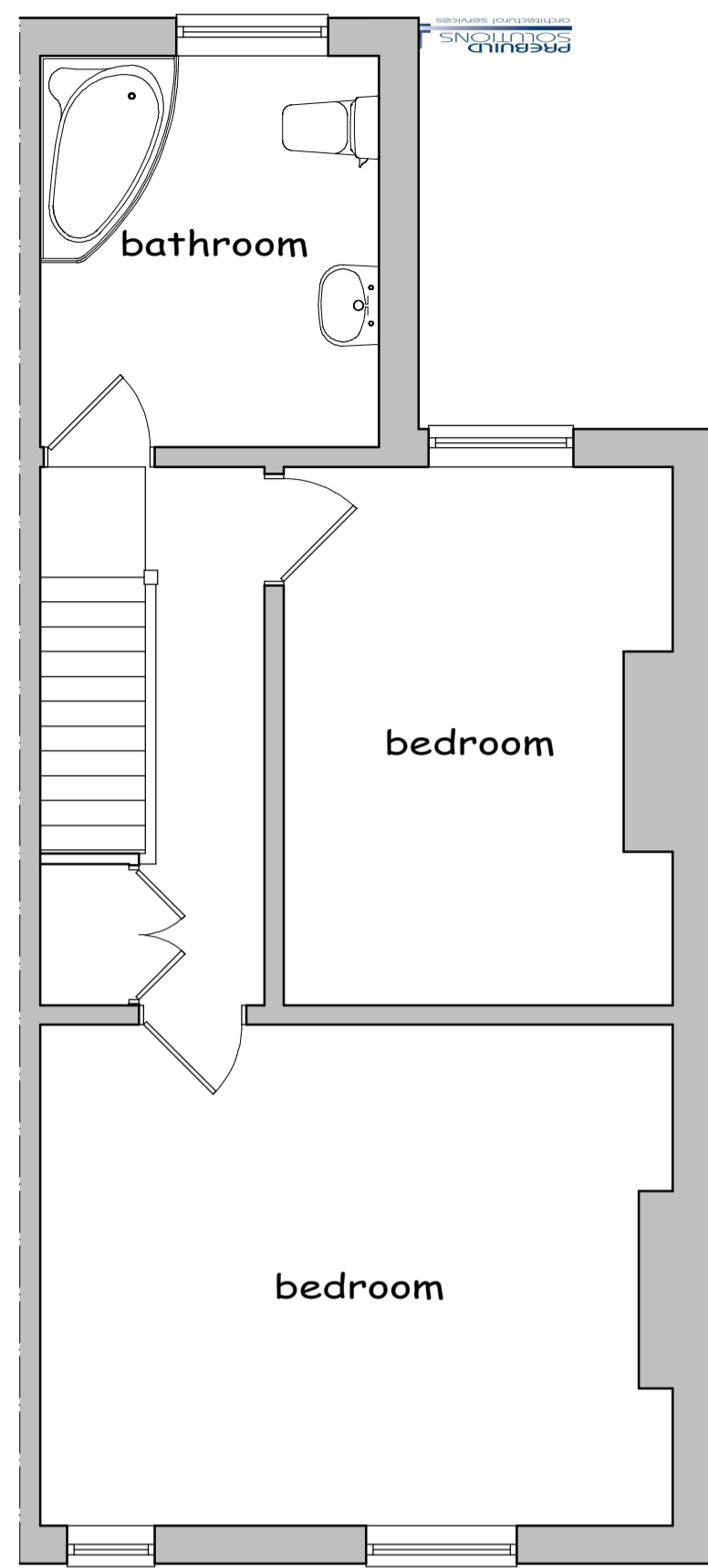
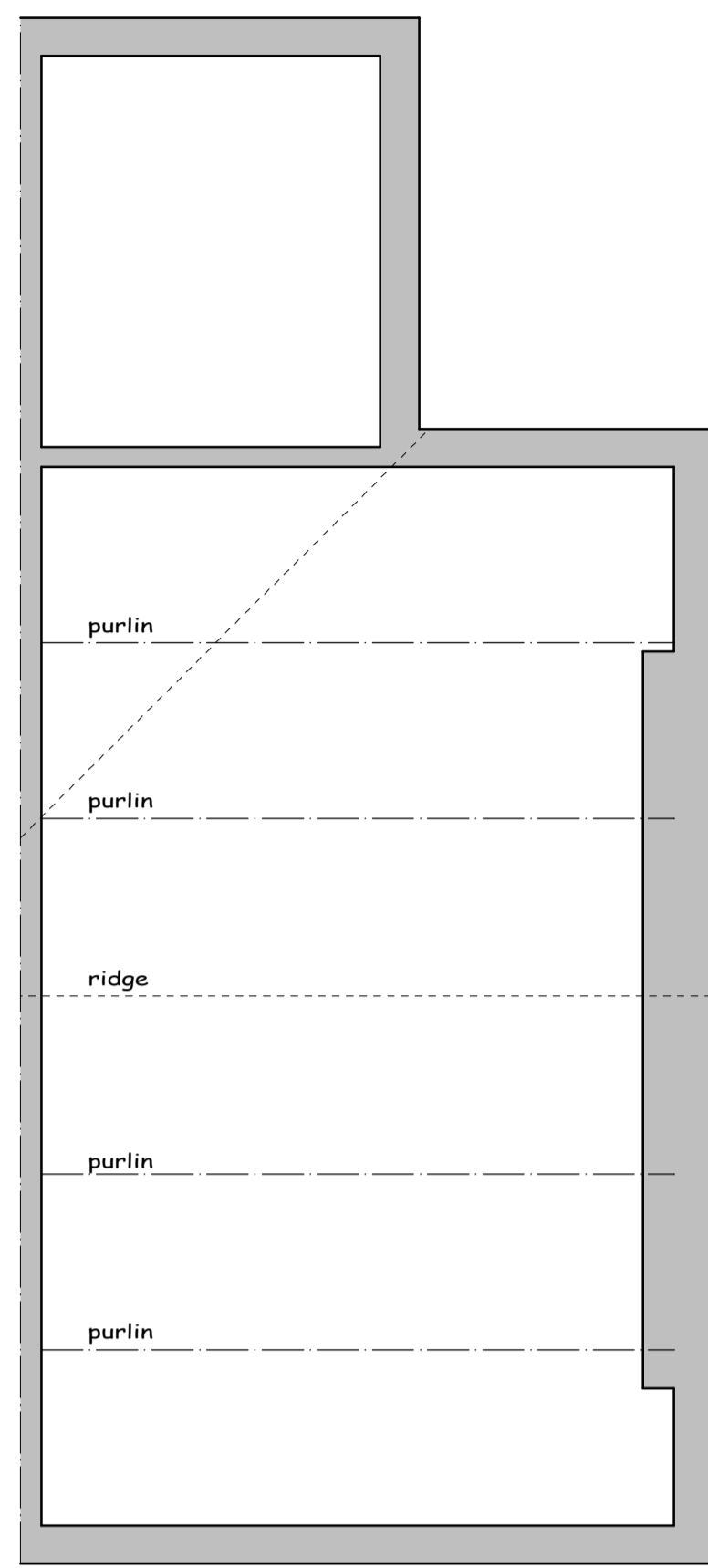


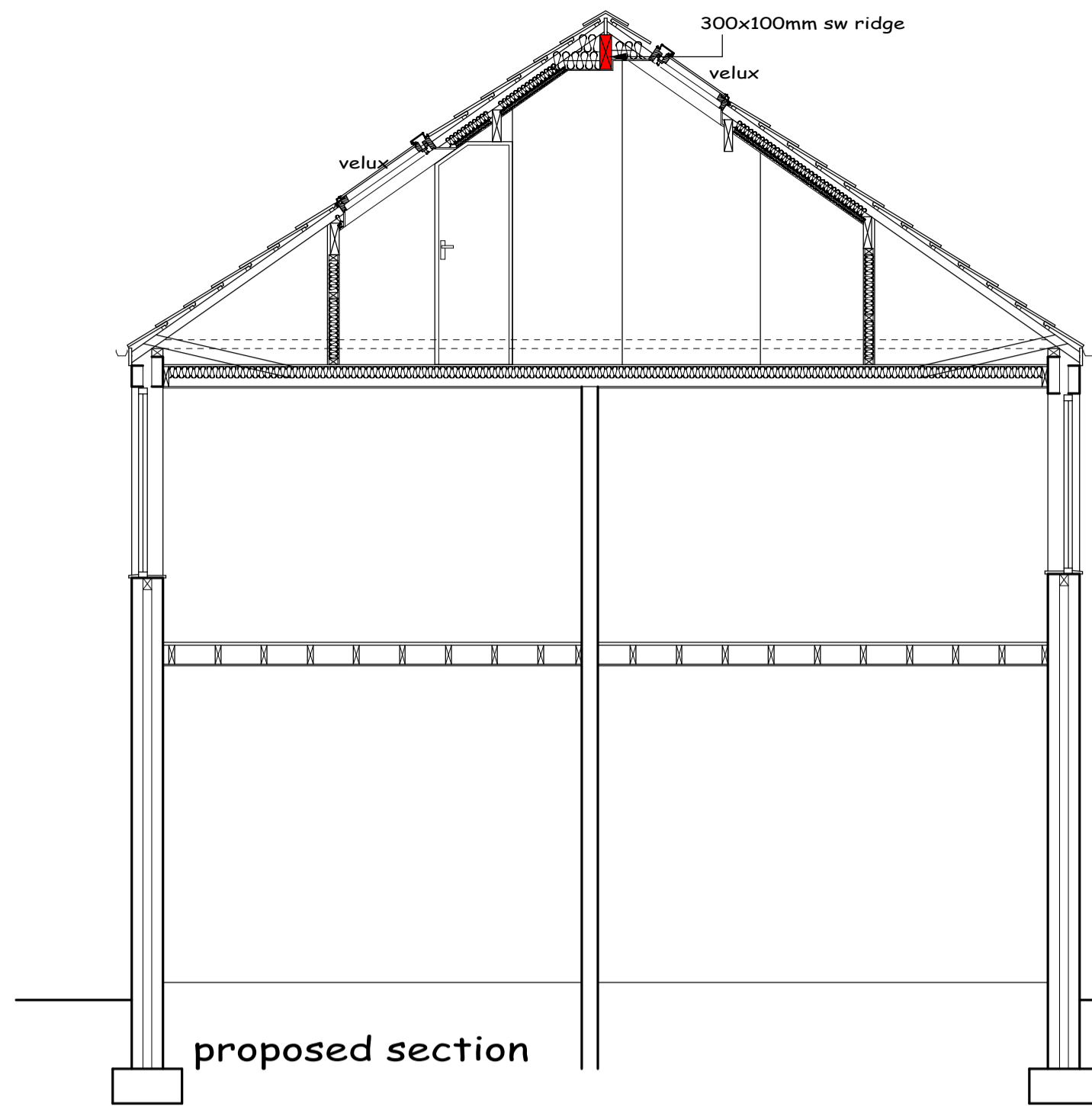
existing ground floor plan



existing first floor plan



existing loft plan



proposed section

**APPROVED DOCUMENT L1 (2005)**

From the 1st April 2005, All new and replacement natural gas and LPG boilers are required to have a minimum SEDBUK (Seasonal Efficiency of Domestic Boilers in the UK) rating of 85%. From the 1st April 2005 Oil fired boilers must have a minimum SEDBUK rating of 85%. Exceptional Circumstances permitting the installation of a Non-Condensing boiler. The installer must complete an 'Assessment form' using the procedure described in the document 'Guide to the Condensing Boiler Installation Procedure for dwellings' (ODPM 2005) The declaration should be retained by the householder as it may be needed when the property is offered for sale. All electrical work required to meet the requirements of Part P (electrical safety) will be designed, installed, inspected and tested by a person competent to do so. Prior to completion the Local Authority must be satisfied by either:- An electrical installation certificate issued under a Competent Person Scheme has been issued; or Appropriate certificates and forms defined in BS 7671 (as amended) have been submitted that confirm the work has been inspected and tested by a competent person. A competent person will have a sound knowledge and experience relevant to the nature of the work undertaken and to technical standards set down in BS 7671, be fully versed in the inspection and testing procedures contained in the regulations and employ adequate testing equipment.

Check existing floors where under the stair escape routes. Upgrade as found to be necessary via overboarding with 12.5mm fireline board & skim, architraves and skirtings adjusted to suit (room side). ALL existing doors onto hallway at ground and first floor to be removed, new half hour fire door ((FD20) to be installed with new frames. NO glass to fire doors.

All stair enclosure walls to be checked for half hour fire resistance - expose on site for BCO inspection. Upgrade as found to be necessary via overboarding with 12.5mm fireline board & skim, architraves and skirtings adjusted to suit (room side). Check existing floors where under the stair escape routes. Upgrade as found to be necessary via overboarding with 12.5mm fireline board & skim, architraves and skirtings adjusted to suit (room side).

**Lighting:**  
One third of the primary light fittings in the proposed extension (minimum one) to be of a type which will only receive high efficiency lamps.

**Existing Rafter Treatment:**  
Batten out existing 75 x 50mm rafters using 50 x 50mm battens - fix 75mm Celotex tuff R GA3075 insulation tight between rafters ensuring 50mm air space is maintained over insulation. Fix 45mm Celotex T-break TB3045 insulation across rafters to eliminate cold bridging - 500 gauge visqueen vapour barrier over insulation - fix 12.5mm plasterboard through insulation to rafters using 65mm galvanized nails and finish with 3mm plaster skim. NB Existing purlins to be retained or replaced.

**Staircase:**  
Total rise - 2415mm  
12no risers at 201mm - goings in straight flight 226mm, tapered treads in winders to have minimum going of 50mm with going at centre of tapered tread of 226mm. Maximum pitch 42deg with minimum head height of 2000mm measured vertically off pitch line. Handrails fixed at 900mm off pitch line throughout flight. Balustrading to be fixed around stairwell @ loft floor level @ 900mm above floor - vertical spindles @ max 100mm centres. Stairs to be underdrawn in 12.5mm plasterboard and skim.

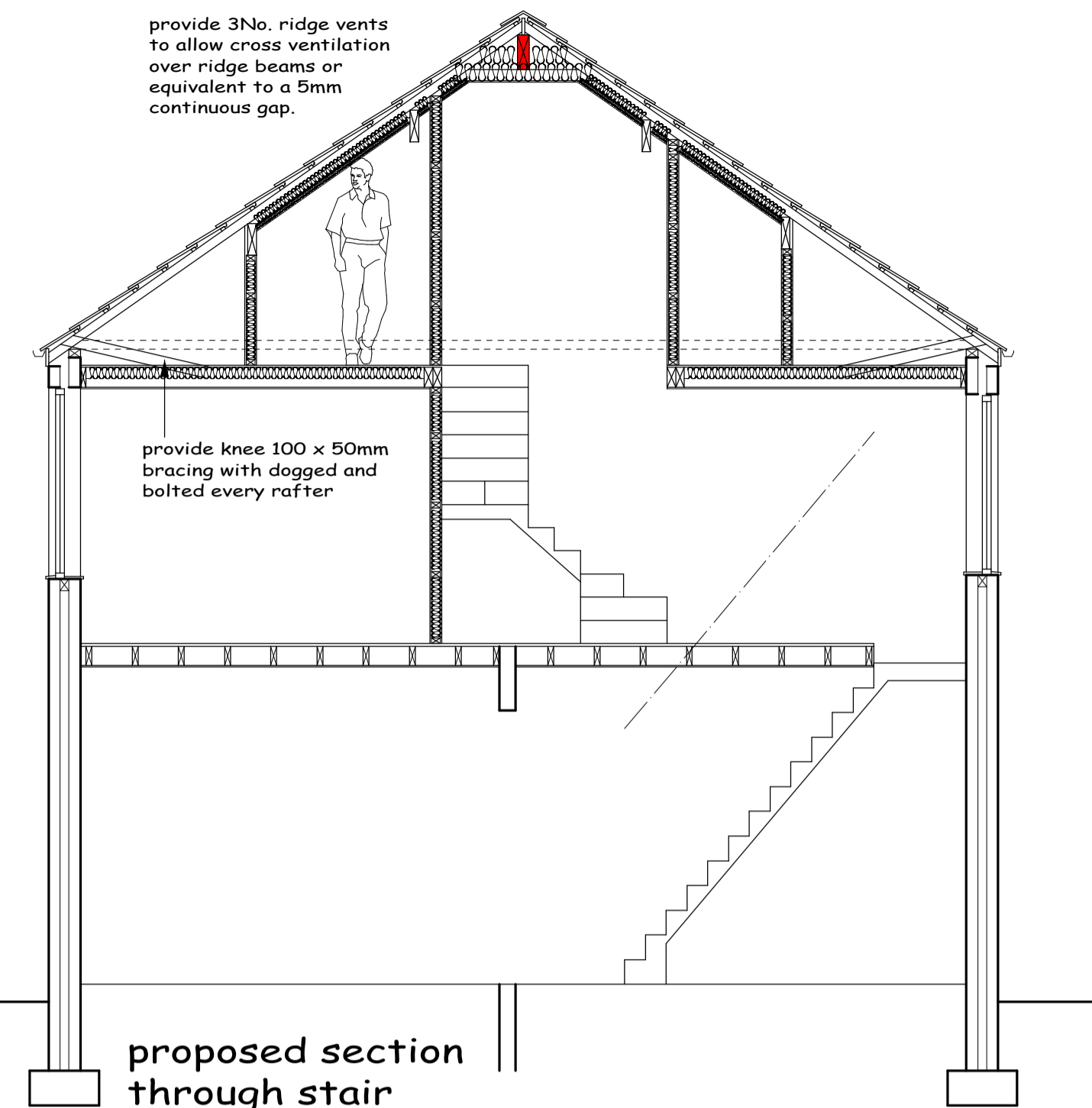
**Windows:**  
All new windows to be double glazed and have trickle vents not less than 8000mm<sup>2</sup>. All glazing to doors/windows adjoining a door or less than 800mm above floor to be in toughened glass. Double glazing to be 4 - 20 - 4 with Pilkington 'K' glass to inner pane. All glazing to be Argon filled.  
**Means of Escape:**  
New windows to habitable rooms without alternative exits must include at least one opening light with a clear opening of 450 x 750mm.

**Heating:**  
Mode of heating to extension as yet unknown if a new boiler to be fitted this is to have a Class A SEDBUK energy efficiency rating. NB All plumbing work to be carried out by Capita gas safe registered installer.  
Hot water & heating systems to comply with Domestic Heating Compliance guide.

**Low Walls:**  
Low walls below purlin formed in 100 x 50mm studding at 400 centres - 65mm Celotex tuff-R GA3065 insulation between studs flush with back of studs, fix celotex T-B3012 over the inside face of studs. The joints of the insulation are then taped using a self adhesive aluminium foil tape and the perimeter sealed with mastic to provide a vapour control layer. Fix 12.5mm plasterboard and skim finish.

**Partitions:**  
Partitions at loft floor level formed in 75 x 50mm studding at 400 centres with 12.5mm plasterboard and skim finish both sides. Double joists under all partitions running in direction of joists. All walls between WC & bedrooms to have 50mm sound deadening insulation between.

**En Suite Plumbing:**  
WC to have 100mm connection to Saniflo macerator. Shower to have 75mm deep seal anti vac traps with 38mm diameter wastes basin to have 75mm deep seal anti vac trap with 32mm diameter waste. All wastes bossed in to Saniflo Macerator with 28mm diameter waste into existing soil pipe.

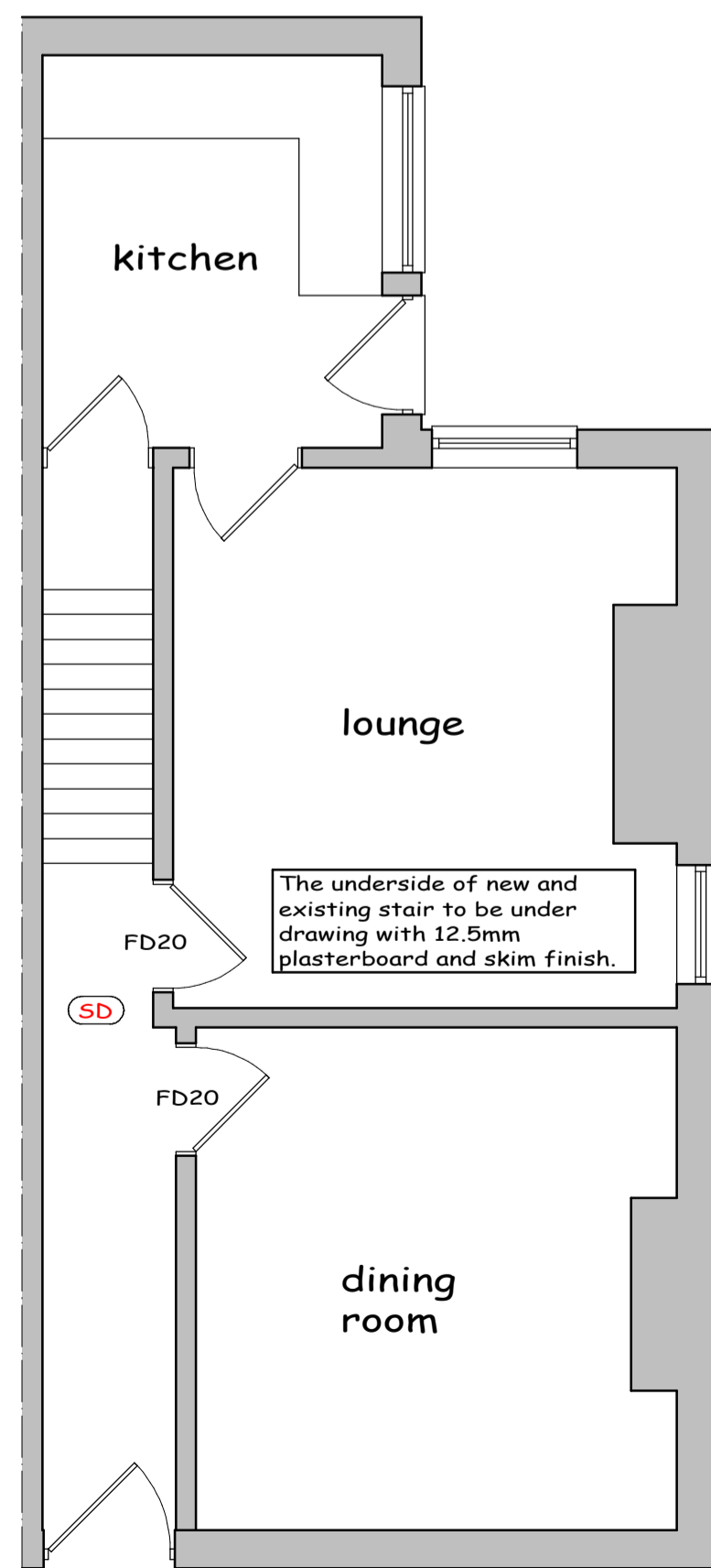


proposed section through stair

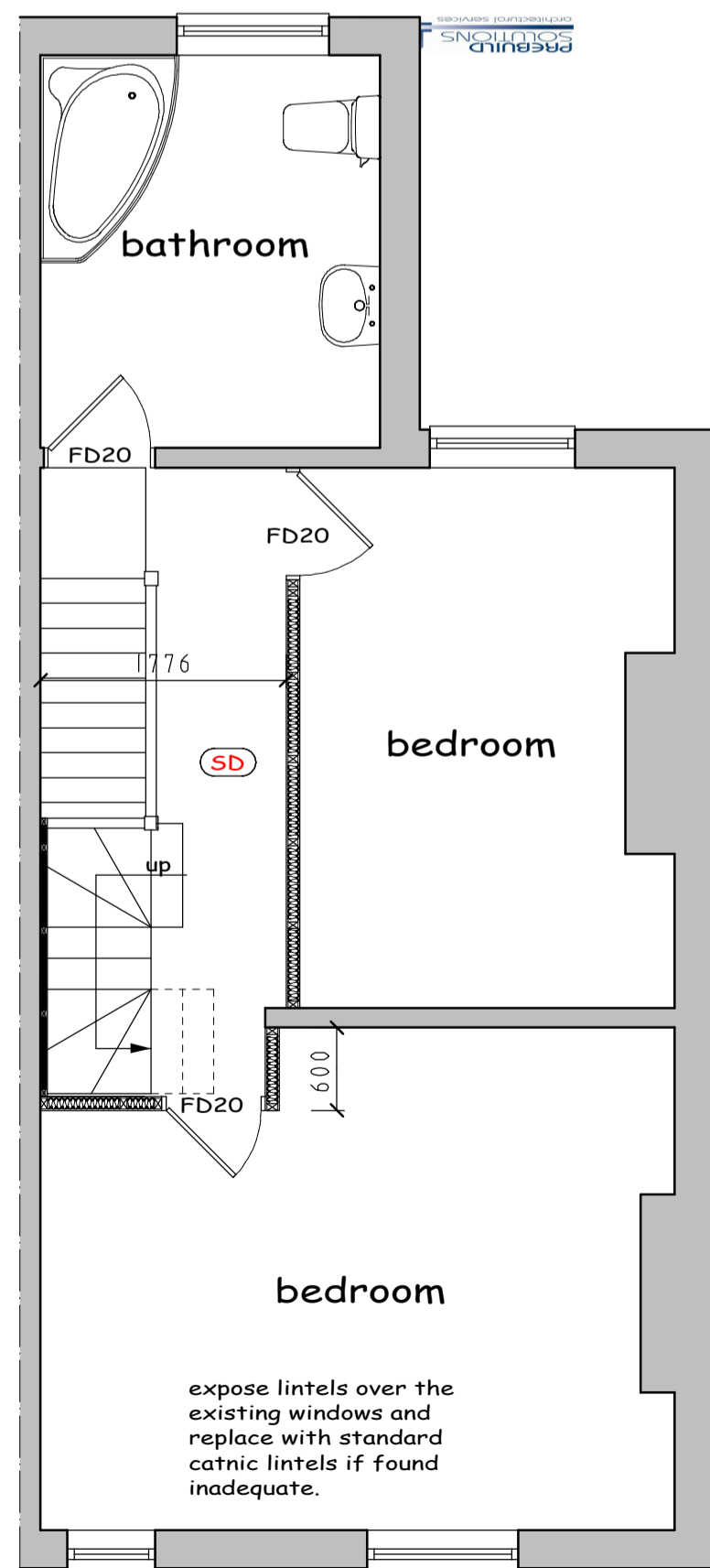
**Loft Floor:**  
Remove exg ceiling joists. 18mm tongue and grooved floor decking to be laid over new floor joists (see plan) @ 400mm c/c. Floor joists supported on 175 x 50mm sw pole plate bolted with resin bonded bolts on front and rear walls at 600mm c/c. Joists on floor trimmers fixed using timber to timber joint hangers - fully nailed. Joists to be doubled up under all internal partition walls. 100mm Rockwool quilt laid between joists 12.5mm plasterboard and skim finish to underside. Provide herringbone strutting at mid span of floor joists.

**Existing party walls**  
Fix acoustic mineral wool insulation between 50 x 50mm sw battens @ 600mm c/c all joists saped and sealed. Provide 12.5mm plasterboard and skim finish.

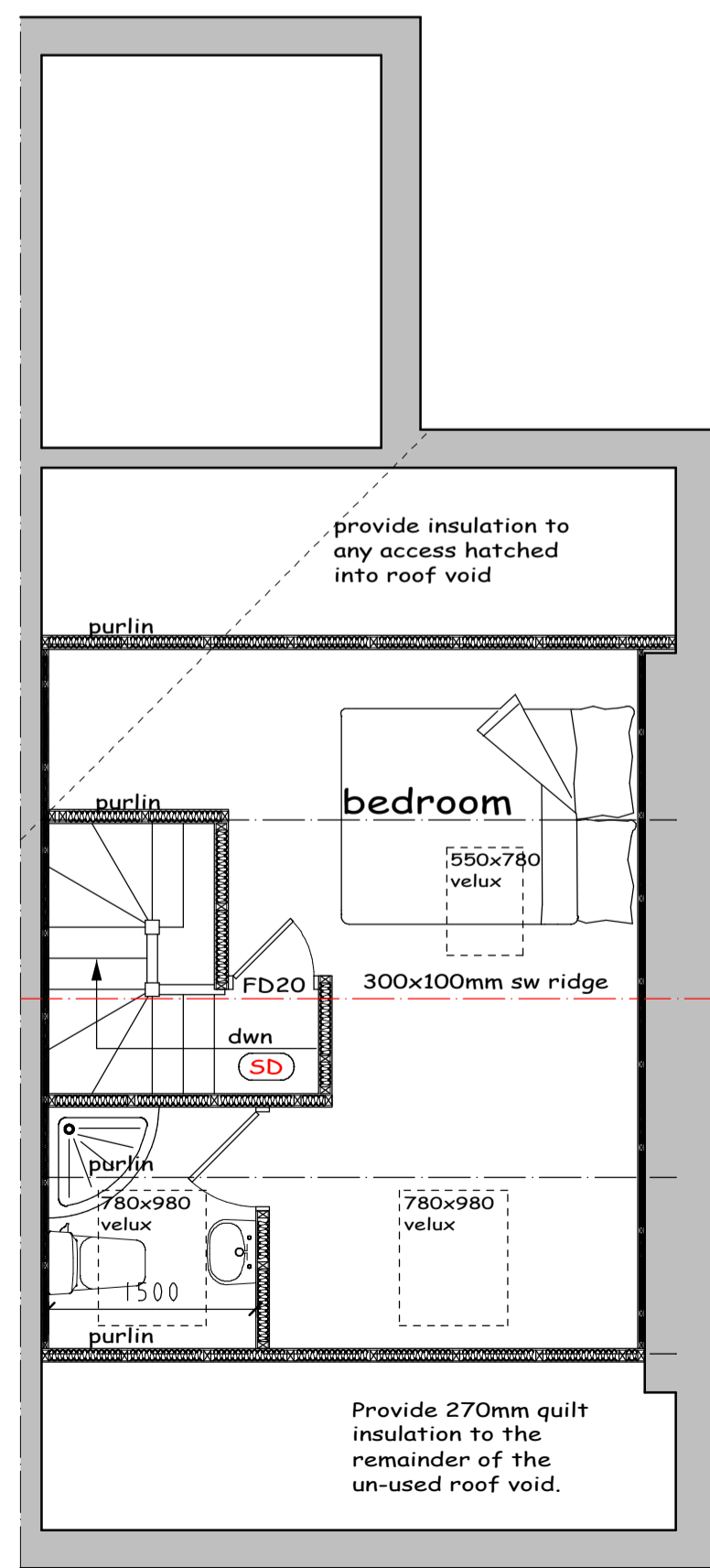
Self-contained mains powered smoke detectors (rechargeable battery backed up) in accordance with BS5839-6: 2004 - Grade D - category LD3 standard to be provided to each level as indicated by 'SD' on floor plans. All alarms to be interlinked and wired to separate sub circuit on mains distribution board. Smoke alarms to be situated within 3.0m of bedroom doors and 7.5m of all other habitable rooms. NOTC - all smoke detectors are to be positioned so that they can be reached for maintenance and testing i.e. not over stairs etc.



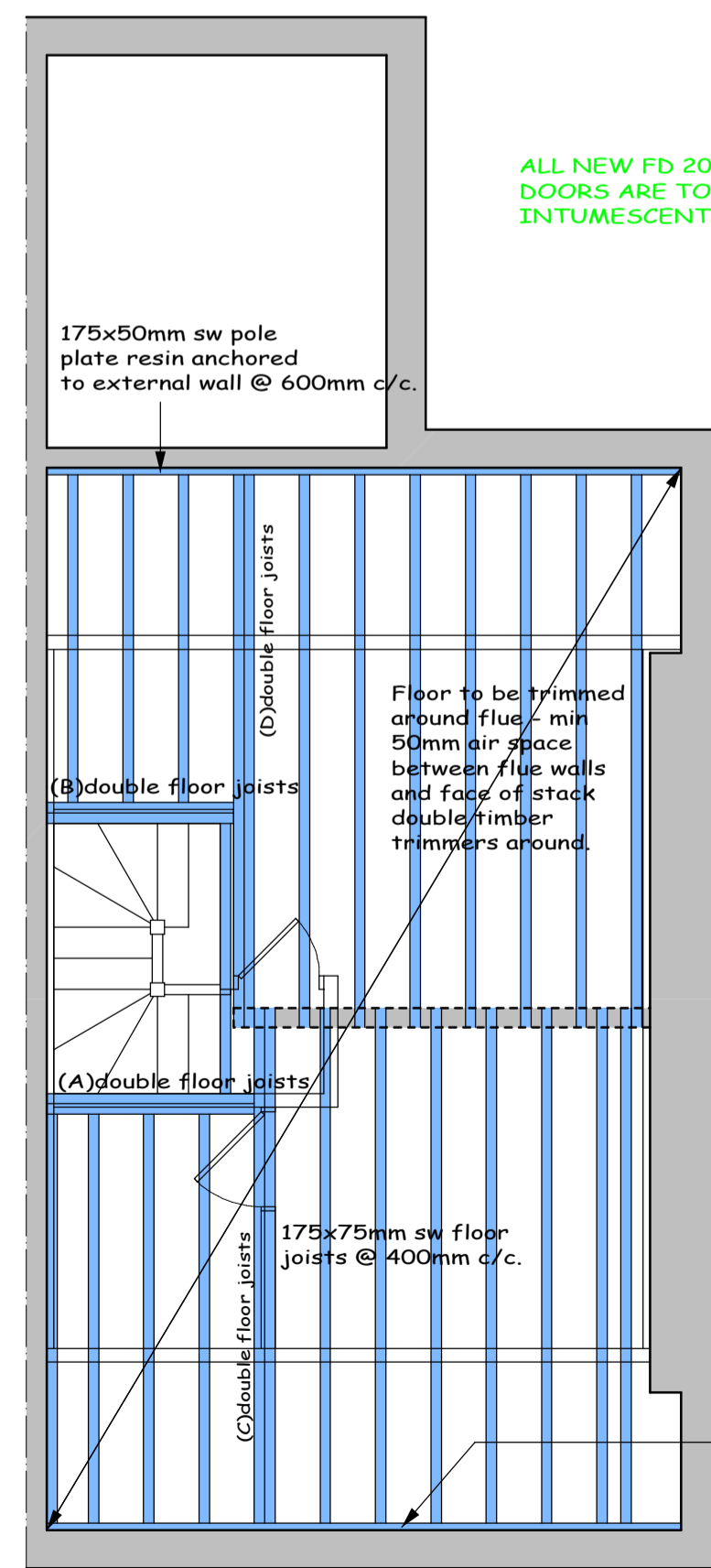
proposed ground floor plan



proposed first floor plan



proposed loft plan



proposed loft floor plan

ALL NEW FD 20 FIRE DOORS ARE TO HAVE INTUMESCENT STRIPS

175x50mm sw pole plate resin anchored to external wall @ 600mm c/c.

provide insulation to any access hatched into roof void

Floor to be trimmed around flus - min 50mm air space between flus walls and face of stack double timber trimmers around.

Provide 270mm quilt insulation to the remainder of the un-used roof void.

175x50mm sw pole plate resin anchored to external wall @ 600mm c/c.

This drawing has been prepared for the sole purpose of obtaining Planning Permission and Building Regulation Approval (DNL). All structural calculations are to be checked by structural engineer prior to construction.

All dimensions & details are to be checked on site prior to construction, any discrepancies reported to ExtensionsNW prior to any work undertaken. Any work undertaken prior to full planning & building regulation approval is at the builders own risk. ExtensionsNW will not be held responsible for any problems arising.

This drawing is the copyright of ExtensionsNW and any reproduction in whole or part is strictly forbidden. Plotted on 02/05/2023. ExtensionsNW reserves the right to modify and make necessary alterations dependent on site conditions.

D	
C	
B	
A	
DATE	

SCALE	1:50	DATE	June 11
DRAWN	UDJ	PP	BR
CUSTOMER			

PROJECT	Loft Conversion
LOCATION	
LOCAL AUTHORITY	

**Extensions**  
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Web: www.extensionsnw.co.uk E-mail: jae@extensionsnw.co.uk

JOB No.		REV.	
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