

Check existing floors where under the stair escape routes. Upgrade as found to be necessary via overboarding with 12.5mm fireline board & skim, architraves and skirtings adjusted to suit (room side). ALL existing doors onto hallway at ground and first floor to be removed, new half hour fire door (FD20) to be installed with new frames. NO glass to fire doors.

All stair enclosure walls to be checked for half hour fire resistance - expose on site for BCO inspection. Upgrade as found to be necessary via overboarding with 12.5mm fireline board & skim, architraves and skirtings adjusted to suit (room side).

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**Dormer Walls:**  
Plain concrete tile hanging on 38 x 25mm treated battens over Y85 insulation Breather Fall FR stapled to 11mm sterling board sheathing on 100 x 50mm treated studs @ 400mm centres - 100mm Celotex RXR insulation fixed tight between studs with 500g visqueen vapour check and 12.5mm plasterboard and skim finish internally. Front wall built off wall plate cheeks built up off dividing wall, 150 x 100mm lintols over window opening supported on cripple studs. Code 3 lead flashing under fascia, above and under windows. Code 4 lead soakers and flashings to front wall and cheeks. N.B. Dormer cheeks to have 2 layers of 9mm firmacel fire resistant board over 11mm sterling board sheathing and 2 layers of 12.5mm plasterboard and skim internally.

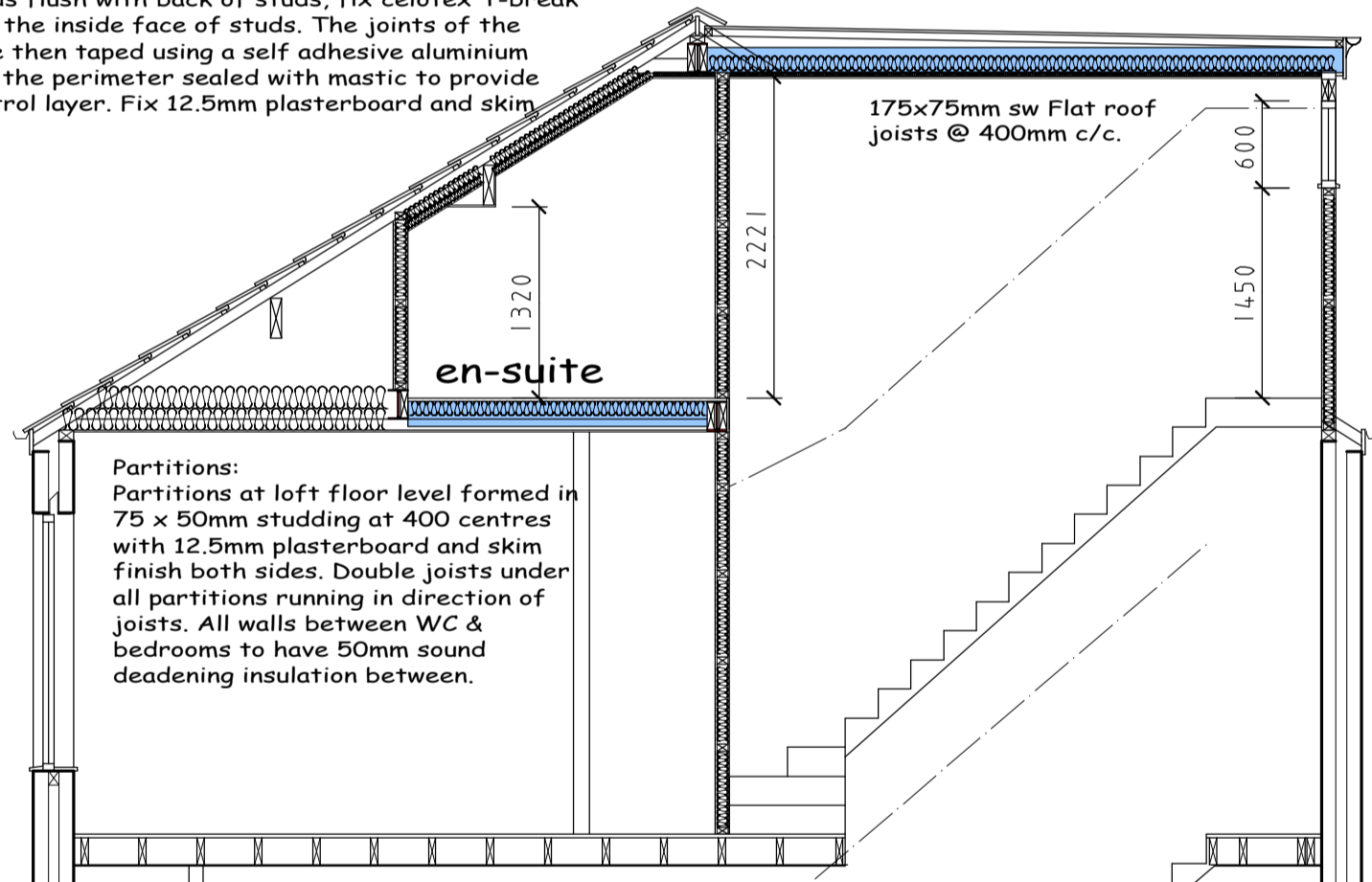
**Existing Rafter Treatment:**  
Batten over existing 75 x 50mm rafters using 50 x 50mm battens - fix 75mm Celotex tuff-R GA3075 insulation tight between rafters ensuring 50mm air space is maintained over insulation. Fix 45mm Celotex T-break TB3045 insulation across rafters to eliminate cold bridging - 500 gauge visqueen vapour barrier over insulation - fix 12.5mm plasterboard through insulation to rafters using 65mm galvanized nails and finish with 5mm plaster skim. NB Existing purlins to be retained or replaced.



**Staircase:**  
Total rise - 3015mm  
15no risers at 201mm - goings in straight flight 220mm tapered treads in winders to have minimum going of 50mm with going at centre of tapered tread of 226mm. Maximum pitch 42deg with minimum head height of 2000mm measured vertically off pitch line. Handrails fixed at 900mm off pitch line throughout flight. Balustrading to be fixed around stairwell @ loft floor level @ 900mm above floor - vertical spindles @ max 100mm centres. Stairs to be underdrawn in 12.5mm plasterboard and skim.

**Heating:**  
Mode of heating to extension as yet unknown if a new boiler to be fitted this is to have a Class A SEDBUK energy efficiency rating. NB All plumbing work to be carried out by Capita gas safe registered installer Hot water & heating systems to comply with Domestic Heating Compliance guide.

**Low Walls:**  
Low walls below purlin formed in 100 x 50mm studding at 400 centres - 65mm Celotex tuff-R GA3065 insulation between studs flush with back of studs, fix celotex T-break TB3012 over the inside face of studs. The joints of the insulation are then taped using a self adhesive aluminium foil tape and the perimeter sealed with mastic to provide a vapour control layer. Fix 12.5mm plasterboard and skim finish.



Self-contained mains powered smoke detectors (rechargeable battery backed up) in accordance with BS5839-6: 2004 - Grade D - category LD3 standard to be provided to each level as indicated by 'SD' on floor plans. All alarms to be interlinked and wired to separate sub circuit on mains distribution board. Smoke alarms to be situated within 3.0m of bedroom doors and 7.5m of all other habitable rooms. NOTE - all smoke detectors are to be positioned so that they can be reached for maintenance and testing i.e. not over stairs etc.

This drawing has been prepared for the sole purpose of obtaining Planning Permission and Building Regulations Approval (B.R.). All structural calculations are to be checked by structural engineer prior to construction.

All dimensions & details are to be checked on site prior to construction, any discrepancies reported to Extensions2NW prior to any work undertaken. Any work undertaken prior to full planning & building regulation approval is at the builder's own risk. Extensions2NW will not be held responsible for any problems arising.

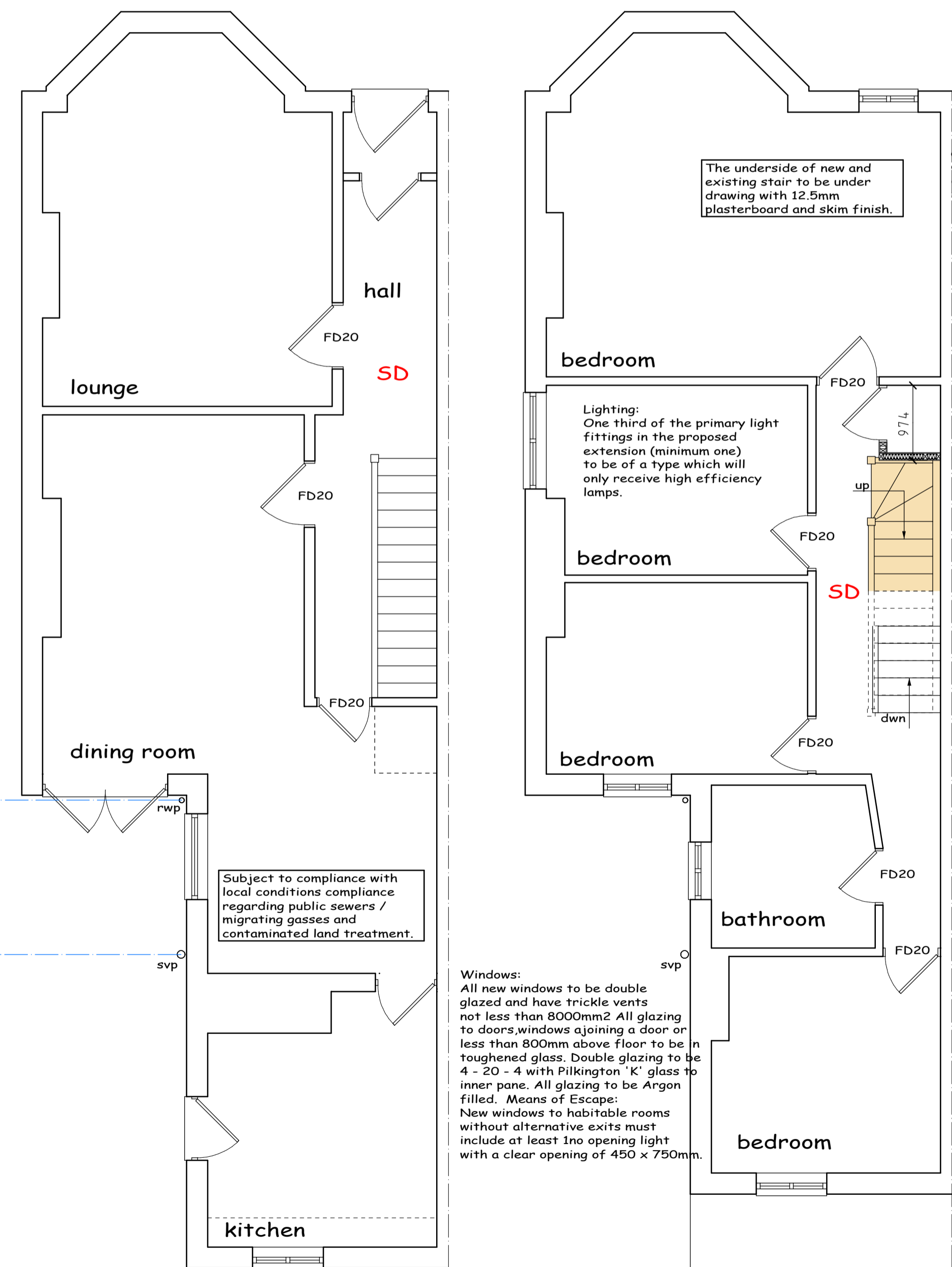
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Plotted on 02/05/2023  
Extensions2NW reserves the right to modify and make necessary alterations dependent on site conditions.

D	
C	
B	
A	
DATE	
SCALE 1:50	DATE Oct 12
DRAWN P.P	CUSTOMER B.R
PROJECT Loft Conversion	
LOCATION	
LOCAL AUTHORITY	

**APPROVED DOCUMENT L1 (2005)**  
From the 1st April 2005, All new and replacement natural gas and LPG boilers are required to have a minimum SEDBUK (Seasonal Efficiency of Domestic Boilers in the UK) rating of 86%.  
From the 1st April 2005 Oil fired boilers must have a minimum SEDBUK rating of 85%.  
Exceptional Circumstances permitting the installation of a Non-Condensing boiler. The installer must complete an 'Assessment form' using the procedure described in the document 'Guide to the Condensing Boiler Installation Procedure for dwellings' (ODPM 2005).  
The declaration should be retained by the householder as it may be needed when the property is offered for sale.  
All electrical work required to meet the requirements of Part P (electrical safety) will be designed, installed, inspected and tested by a person competent to do so. Prior to completion the Local Authority must be satisfied by either:-  
An electrical installation certificate issued under a Competent Person Scheme has been issued; or  
Appropriate certificates and forms defined in BS 7671 (as amended) have been submitted that confirm the work has been inspected and tested by a competent person. A competent person will have a sound knowledge and experience relevant to the nature of the work undertaken and to technical standards set down in BS 7671, be fully versed in the inspection and testing procedures contained in the regulations and employ adequate testing equipment.

assumed combined drainage

assumed combined drainage



The underside of new and existing stair to be under drawing with 12.5mm plasterboard and skim finish.

all waste from en-suite to connect into new SVP

Existing party walls  
Fix celotex T-Break TB 3040 to the exg wall, batten over with 25 x 50mm sw battens @600mm c/c all joists taped and sealed, Provide 12.5mm plasterboard and skim finish.

provide insulation to any access hatched into roof void

Lighting:  
One third of the primary light fittings in the proposed extension (minimum one) to be of a type which will only receive high efficiency lamps.

expose lintels over the existing windows and replace with standard catnic lintels if found inadequate.

Provide 270mm quilt insulation to the remainder of the un-used roof void.

**Windows:**  
All new windows to be double glazed and have trickle vents not less than 8000mm<sup>2</sup>. All glazing to doors/windows adjoining a door or less than 800mm above floor to be in toughened glass. Double glazing to be 4 - 20 - 4 with Pilkington 'K' glass to inner pane. All glazing to be Argon filled. Means of Escape:  
New windows to habitable rooms without alternative exits must include at least 1no opening light with a clear opening of 450 x 750mm.

Subject to compliance with local conditions compliance regarding public sewers / migrating gasses and contaminated land treatment.

proposed ground floor plan

proposed first floor plan

proposed loft plan

proposed loft floor plan



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