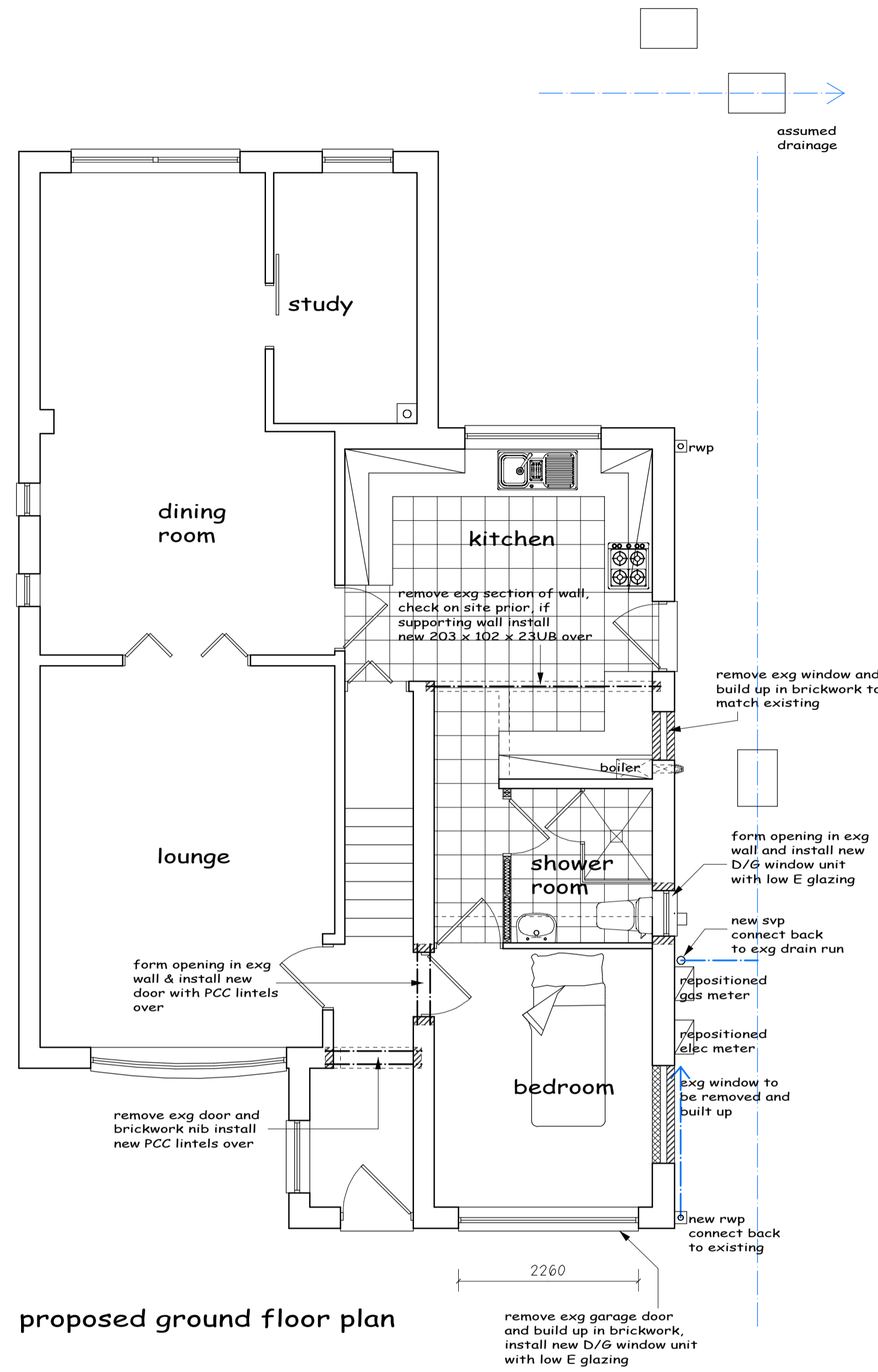


existing ground floor plan



proposed ground floor plan

Investigate exg drainage system and determine if separate or combined. New connections to be made to the appropriate drainage systems where separate i.e. foul to foul, sw to sw.

**Foundations:**  
600 x 600mm concrete trench fill taken down to firm bearing strata at min 900mm below ground level. Foundations to be taken down to invert of any drain within 1000mm of excavation.

**Lintols:**  
Catnic C670/100 lintols to all openings with brickwork above - min 150mm end bearing. Catnic C6E70/100 lintols to all openings at closed eaves - min 150 end bearing.

**Flashings:**  
Code 4 lead stepped and straight flashings with DPC cavity trays over at all abutments.

**Lighting:**  
One third of the primary light fittings in the proposed extension (minimum one) to be of a type which will only receive high efficiency lamps.

**Heating:**  
Made of heating to extension as yet unknown if a new boiler to be fitted this is to have a Class A SEDBUK energy efficiency rating. NB All plumbing work to be carried out by CORGI registered installer.

**Hot water & heating systems**  
to comply with Domestic Heating Compliance guide.

**Garage Conversion Front & side Wall:**  
Remove existing garage door and frame. Block up opening in cavity construction formed 102mm facing brick outer leaf to match existing 85mm fully insulated cavity - drytherm plus cavity batts - 100mm thermalite block inner leaf dry lined in 9.5mm plasterboard and skim on Drywall dabs. Stainless steel double triangle wall ties (min 59mm embedment) 750mm horizontal c/c & 450 vertical c/c staggered and doubled up at all window and door reveals. Cavities to be closed at all reveals and at eaves - using Thermabate insulated cavity closers. NB all masonry below ground level to be in concrete common brick. DPC to be fixed at min 150mm above ground level. Provide cavity fill to 225mm below damp proof course. Fit UPVC double glazed window to match existing. New window to incorporate 1no opening light with a minimum clear opening of 450 x 750mm as means of escape.

**Cavity Trays:**  
Cavity tray damp proof course to be provided above air bricks and flashings.

**Drainage:**  
All new drainage to be 100mm diameter Polypipe Underground or similar drainage system. Pipes laid to self cleansing fall on 150 bed pea shingle. New gullies to be roddable with connection to existing drain. Pipes passing through footings to be bridged using pre-stressed concrete lintels. All new drainage passing under new extension to be encased in minimum 150mm concrete.

**Kitchen & Utility Layout:**  
New kitchen by others but new sink to have 75mm deep seal anti vac trap with 38mm waste to discharge to new roddable gully below grate but above water level.

**Plumbing to new Shower room:**  
WC to have 100mm connection to soil pipes. bath, shower to have 75mm deep seal anti vac traps with 38mm diameter wastes. basin to have 75mm deep seal anti vac trap with 32mm diameter waste. Any combined waste to be min 50mm dia. All wastes bossed on to new soil pipe.

**Plumbing to new Shower room:**  
WC to have 100mm connection to soil pipes. bath, shower to have 75mm deep seal anti vac traps with 38mm diameter wastes. basin to have 75mm deep seal anti vac trap with 32mm diameter waste. Any combined waste to be min 50mm dia. All wastes bossed on to new soil pipe.

**Garage Conversion Floor Construction:**  
18mm tongue and groove moisture resistant flooring grade chipboard or softwood floorboards to clients discretion on 75 x 50mm battens packed to level on 1200g visqueen membrane @ 400 centres over existing concrete sub floor.  
75mm Cellotex RXR insulation cut tight between joists

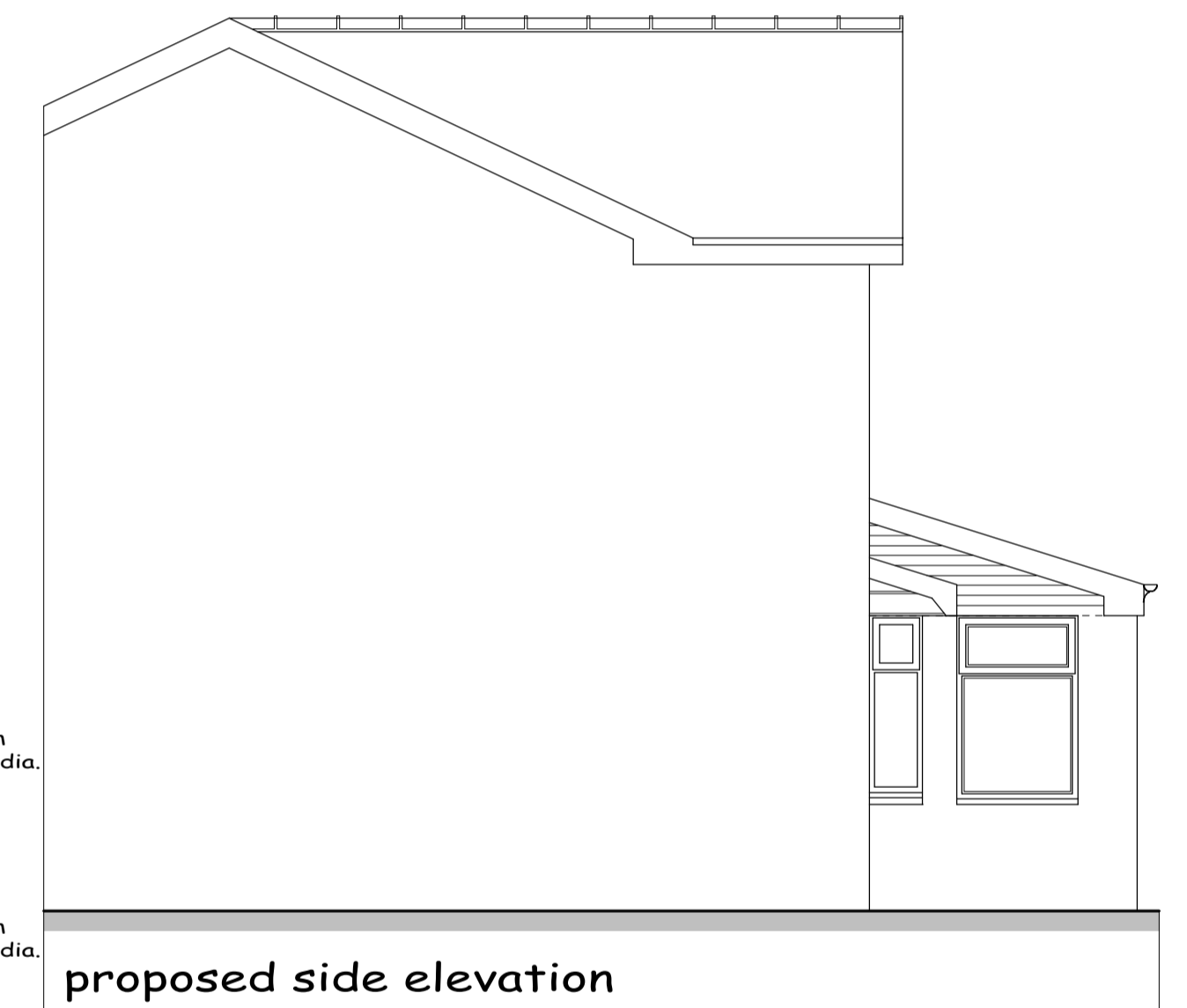
**Treatment to exg External Walls:**  
Dry line in 50mm Cellotex RXR with 12.5mm plasterboard and skim to inner face.

**Partitions:**  
Partitions at first floor formed in 75 x 50mm studding at 400 centres with 12.5mm plasterboard and skim finish both sides, ten board 10kg/m<sup>2</sup> and 10kg/m<sup>2</sup> quilt, Double joists under all partitions running in direction of joists.

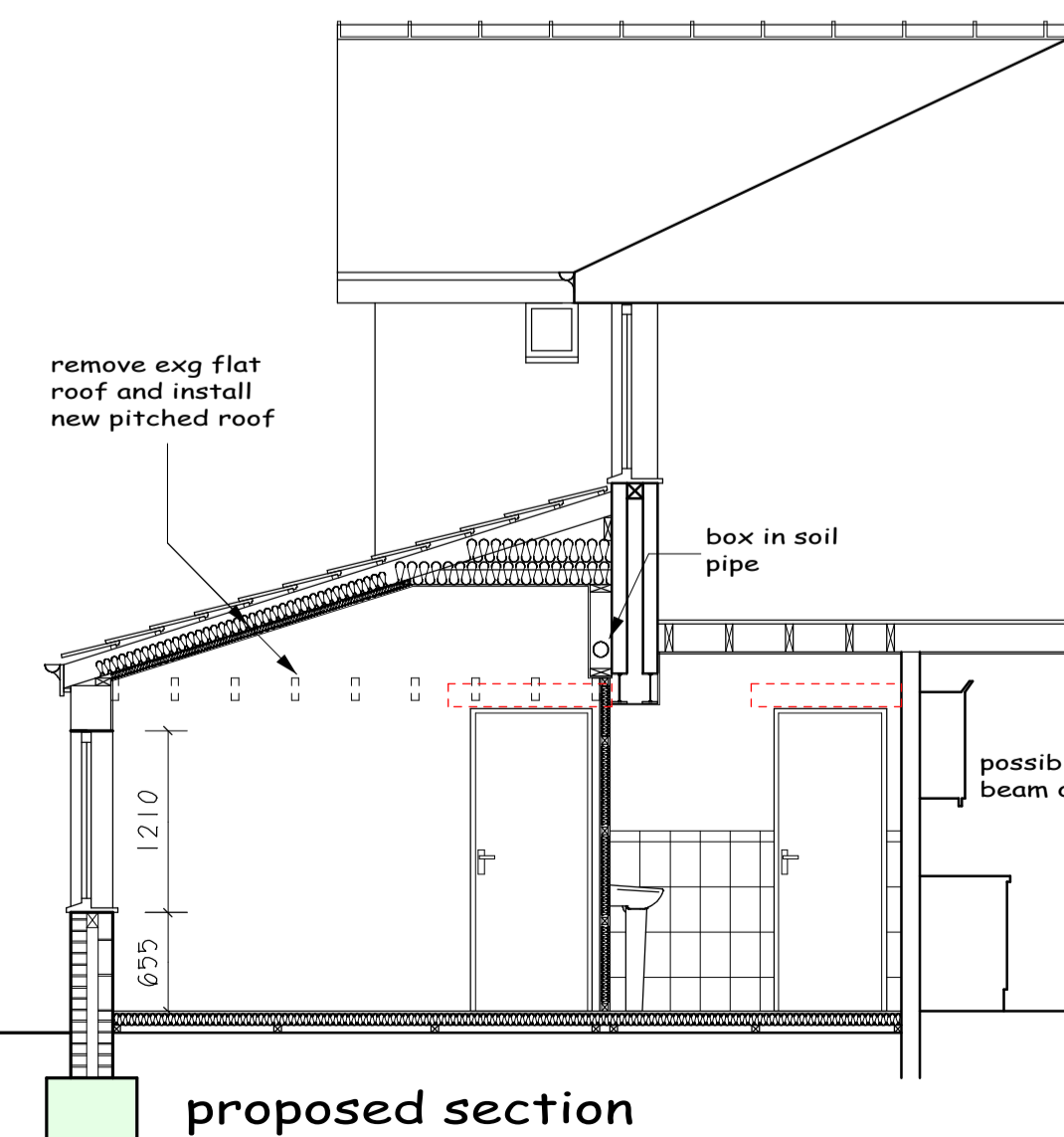
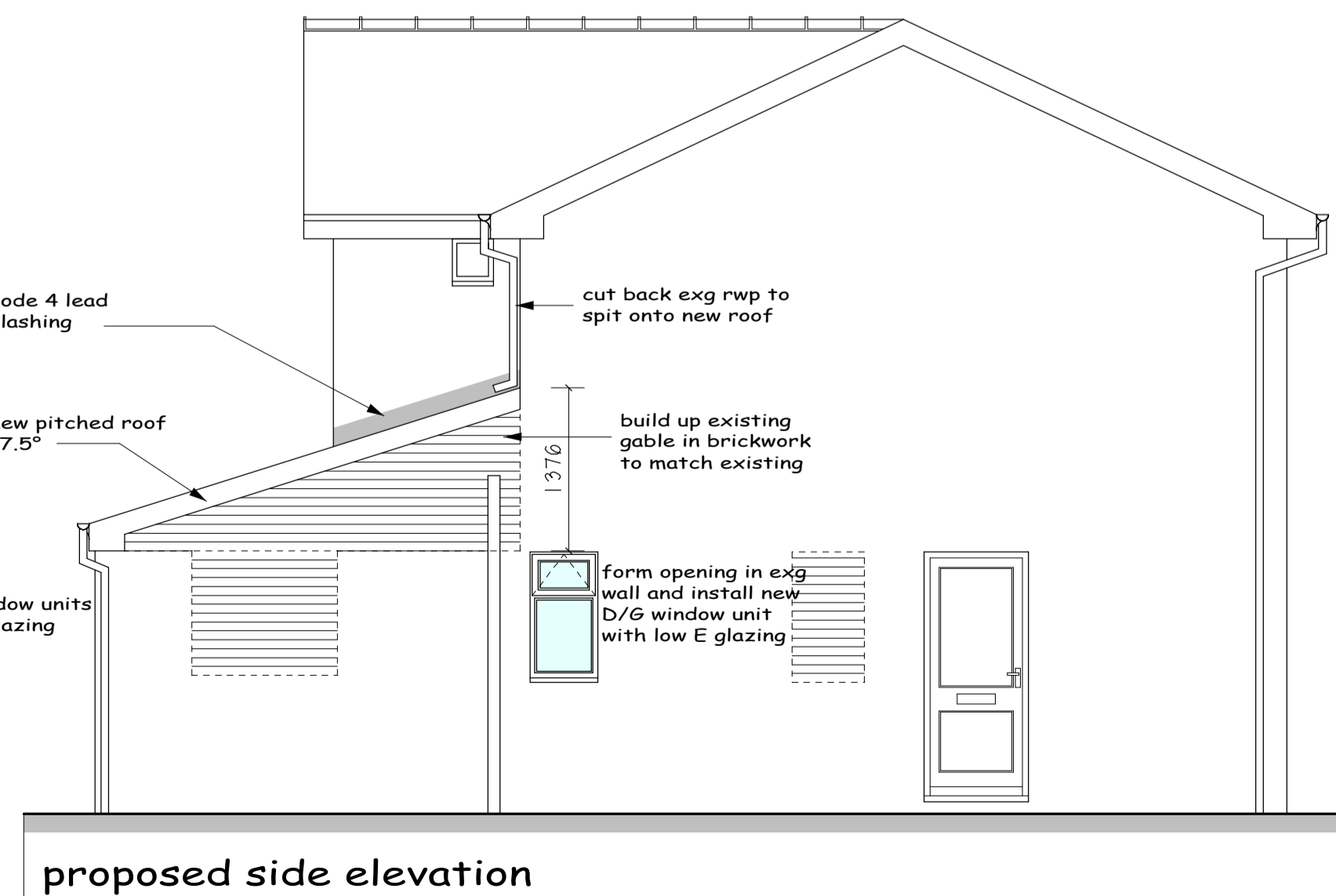
**Structural Steel:**  
All structural steel to be encased in a minimum 18mm Gypsum plaster to give minimum half hour fire protection. All steelwork to bear onto 150mm deep concrete padstones.

**New Main Roof Construction: Unvented Cold Roof**  
Smooth Marley modern (100 head lap) concrete tiles on 38 x 25mm tanalised battens on Du Pont Tyvek Supro breathable roof membrane on 175 x 50mm rafters @ 400 centres spanning between new 150 x 50mm sw pole plate (bolted @ 600mm c/c) and wall plate.  
100 x 50mm sw ceiling joists @ 400mm c/c with sw hangers and binders. 100 x 75mm wall plates bedded on and strapped to blockwork @ 2000mm centres 300mm quilt insulation over laid in 2no layers between and across ceiling joists with 12.5mm plasterboard and skim finish to underside.

**Vaulted Section**  
Provide 100mm CELOTEX TUFF-R GA3100 insulation between rafters with 45mm CELOTEX T-break TB3035 insulation to the underside with 12.5mm plasterboard and skim finish.



provide new pitched roof canopy over exg flat roof. Marley modern concrete tiles on sw battens on roofing felt on 100 x 50mm sw rafters @ 400mm c/c.



**APPROVED DOCUMENT L1 (2005)**  
From the 1st April 2005, All new and replacement natural gas and LPG boilers are required to have a minimum SEDBUK (Seasonal Efficiency of Domestic Boilers in the UK) rating of 86%.  
From the 1st April 2005 Oil fired boilers must have a minimum SEDBUK rating of 86%.  
Exceptional Circumstances permitting the installation of a Non-Condensing boiler. The installer must complete an 'Assessment form' using the procedure described in the document 'Guide to the Condensing Boiler Installation Procedure for dwellings' (ODPM 2005).  
The declaration should be retained by the householder as it may be needed when the property is offered for sale.  
All electrical work required to meet the requirements of Part P (electrical safety) will be designed, installed, inspected and tested by a person competent to do so.  
Prior to completion the Local Authority must be satisfied by either:  
An electrical installation certificate issued under a Competent Person Scheme has been issued; or  
Appropriate certificates and forms defined in BS 7671 (as amended) have been submitted that confirm the work has been inspected and tested by a competent person. A competent person will have a sound knowledge and experience relevant to the nature of the work undertaken and to technical standards set down in BS 7671, be fully versed in the inspection and testing procedures contained in the regulations and employ adequate testing equipment.

**Doors and Windows:**  
All new windows to be double glazed and have trickle vents not less than 8000mm<sup>2</sup>. All windows joining a door or a glazed door or less than 800mm above floor to be in toughened glass. Double glazing to be 4 - 20 - 4 with Pilkington 'K' glass to inner pane. Glazing to be Argon filled. New windows to habitable rooms without alternative at least 1no opening light with a clear opening of 450 x 750mm. Top hung Windows to have assist arms and stays to keep up.

This drawing has been prepared for the sole purpose of obtaining Planning Permission and Building Regulations Approval (DAS). All structural calculations are to be checked by structural engineer prior to construction.

All dimensions & details are to be checked on site prior to construction, any discrepancies reported to ExtensionsNW prior to any work undertaken. Any work undertaken prior to full planning & building regulation approval is at the builder's own risk. ExtensionsNW will not be held responsible for any problems arising.

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DATE	

SCALE	1:50	DATE	Nov 07
DRAWN	JDJ	PP	BR

CUSTOMER  
PROJECT  
Pitched roof & garage conversion  
LOCATION  
LOCAL AUTHORITY

**Extensions**  
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JOB No.	REV.
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