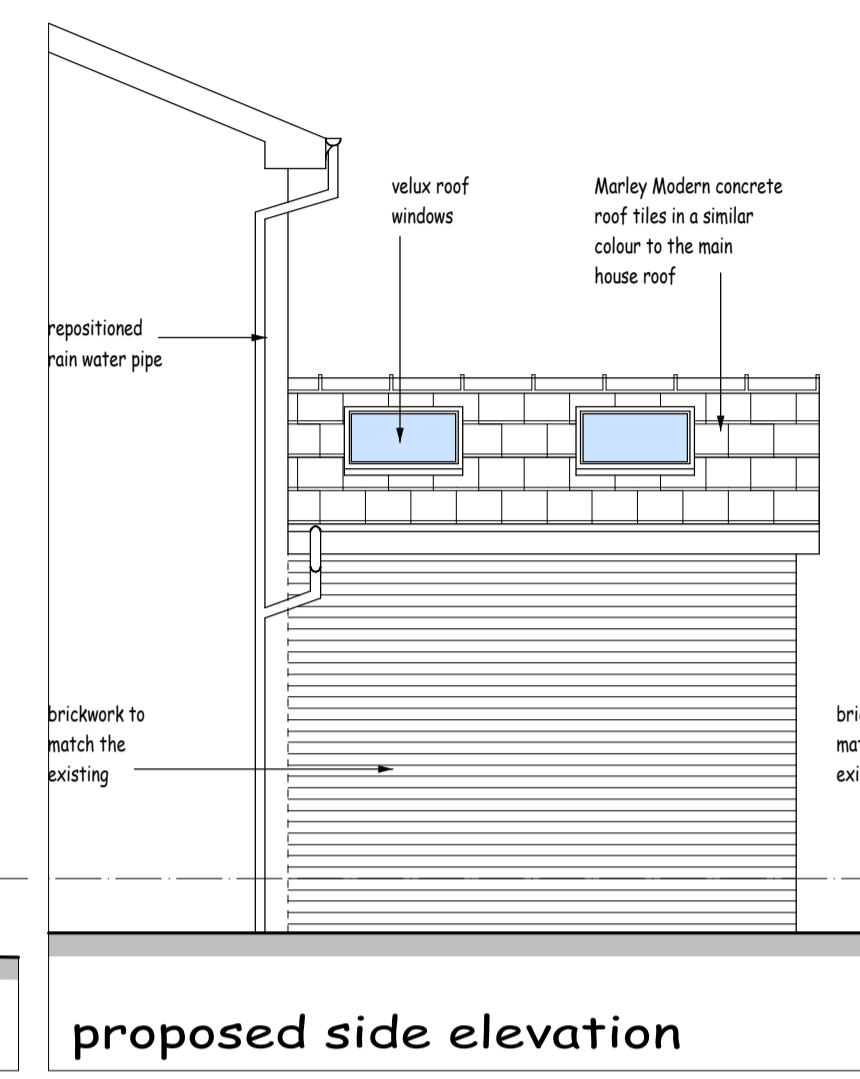
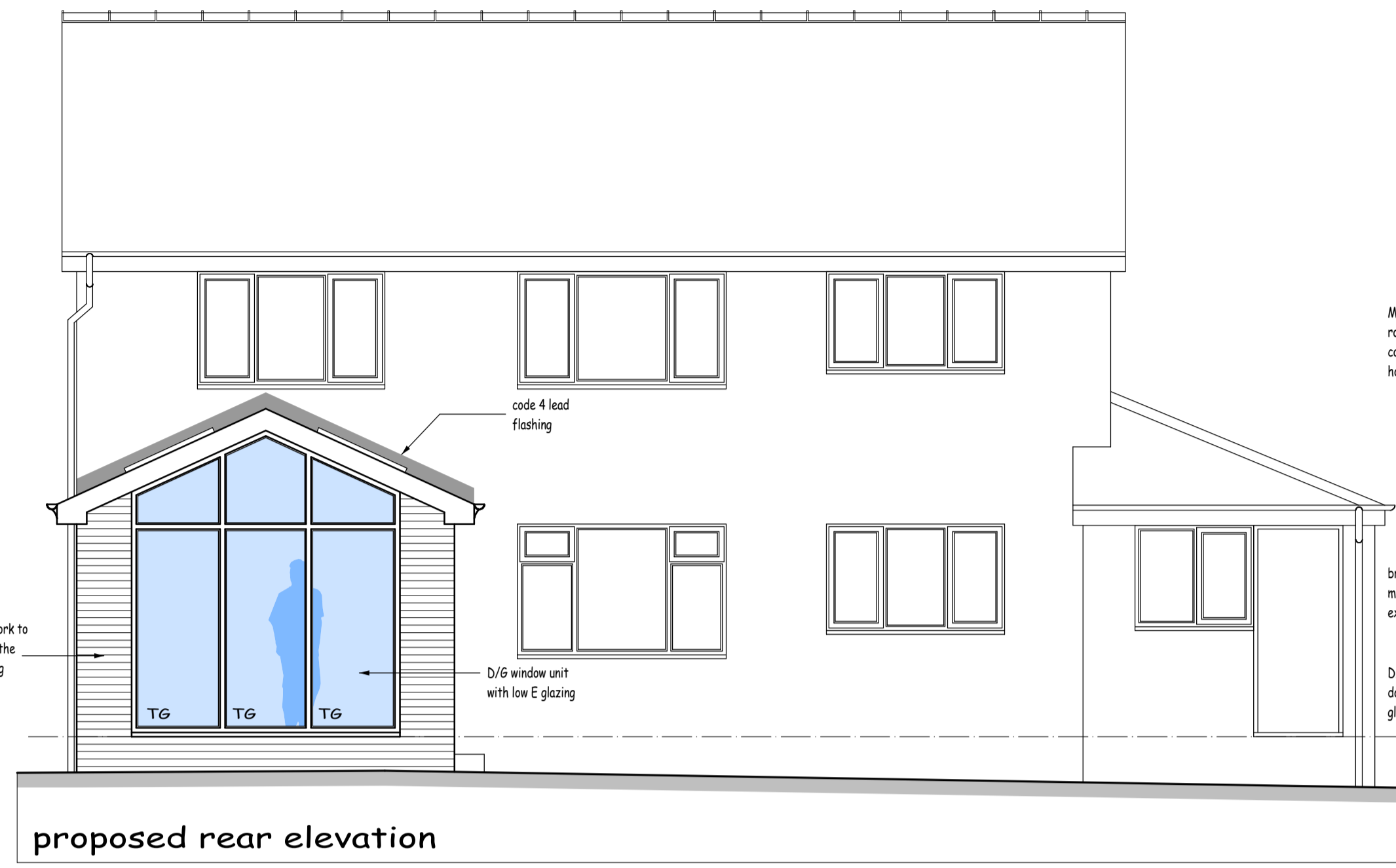


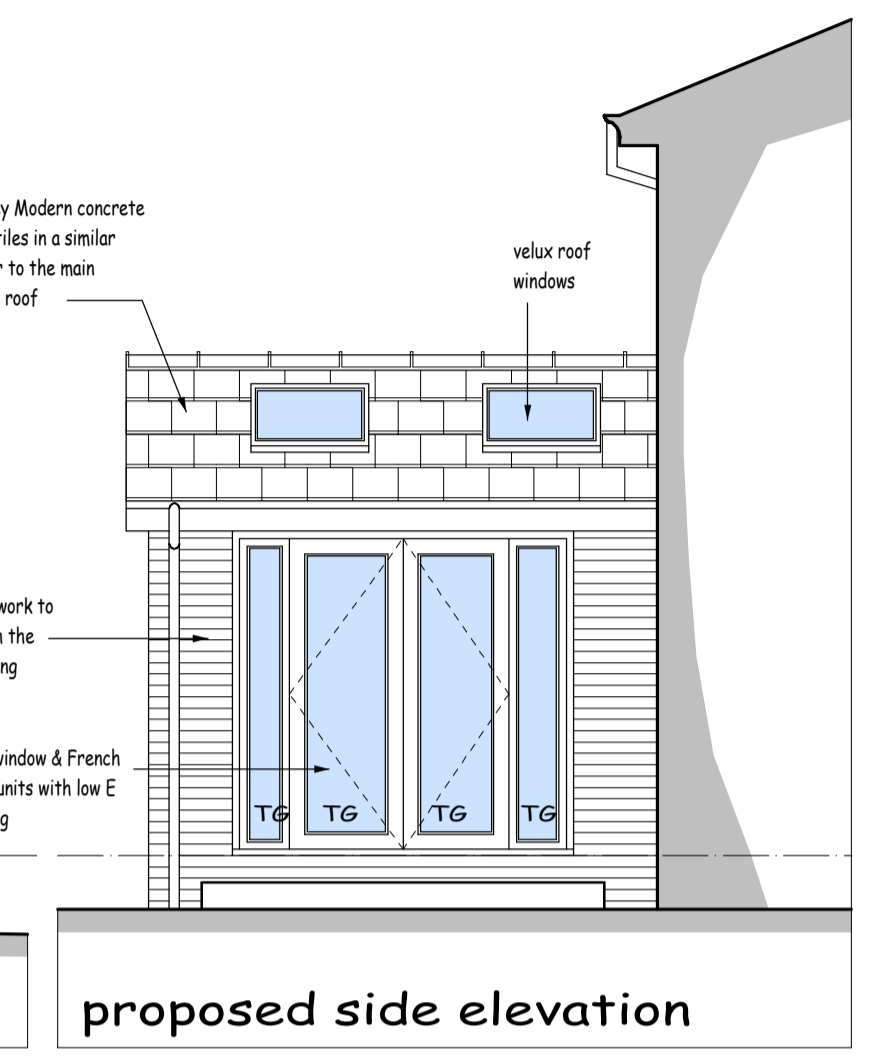
existing rear elevation



proposed side elevation



proposed rear elevation



proposed side elevation

Heating:
 Made of heating to extension as yet unknown if a new boiler to be fitted this is to have a Class A SEDBUK energy efficiency rating. NB All plumbing work to be carried out by GAS SAFE registered installer. Hot water & heating systems to comply with Domestic Heating Compliance guide.

Flashings:
 Code 4 lead stepped and straight flashings with DPC cavity trays over at all abutments.

Lighting:
 One third of the primary light fittings in the proposed extension (minimum one) to be of a type which will only receive high efficiency lamps.

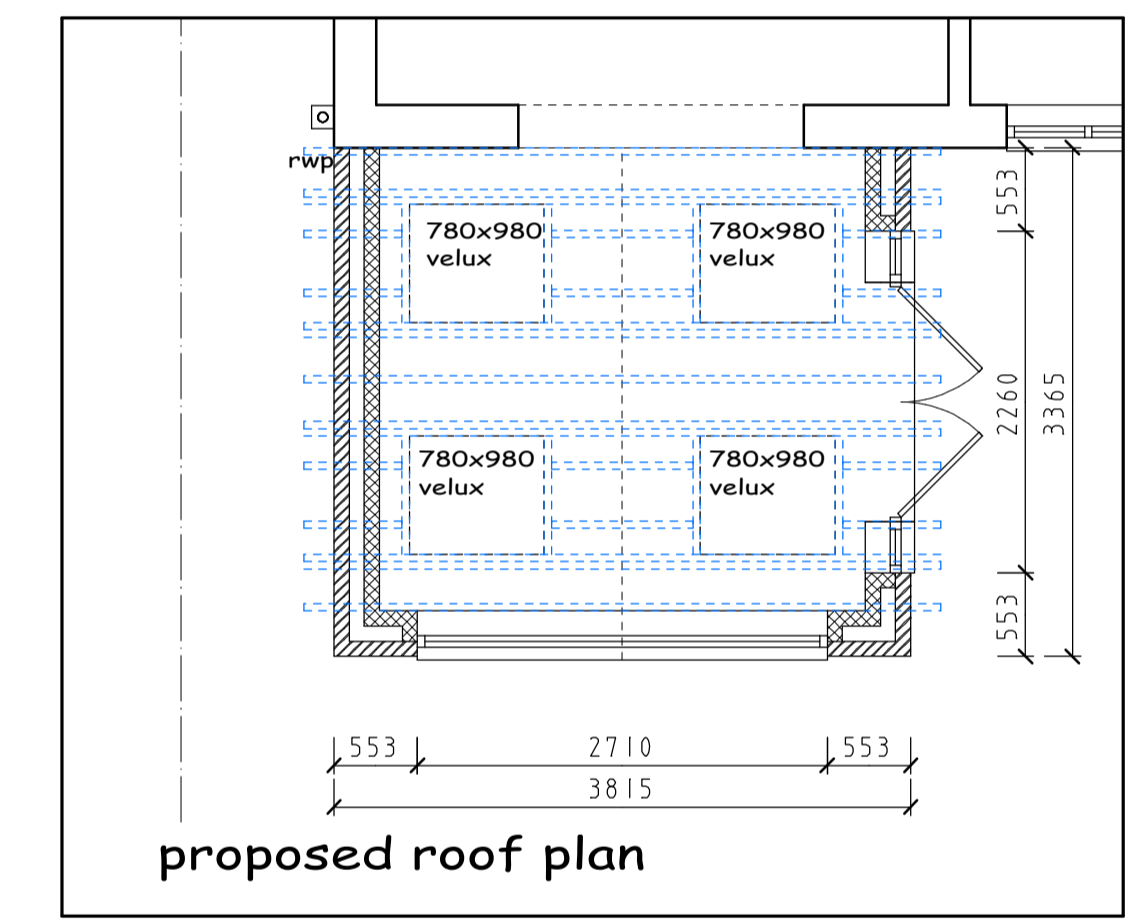
Ventilation:
 Unless otherwise stated, room ventilation will be provided by natural means. Windows to incorporate; opening lights at least equal to 1/20th floor area, along with controllable trickle vents with an equivalent area of 5,000mm². Where opening restrictors are to be provided the opening lights to be increased in size to 1/10th of the room floor area. Wet room areas to be afforded mechanical extract ventilation using the following extract rates:
 Kitchen 30 Litres/sec (adjacent to the hob)
 Utility Room 30 Litres/sec elsewhere
 Bathroom 15 Litres/sec
 Sanitary accommodation 6 Litres/sec.
 In addition, controllable trickle vents with equivalent area of area of 2,500mm². All extracts to open air.

Foundations:
 600 x 600mm concrete trench fill taken down to firm bearing strata at min 900mm below ground level. Foundations to be taken down to invert of any drain within 1000mm of excavation.

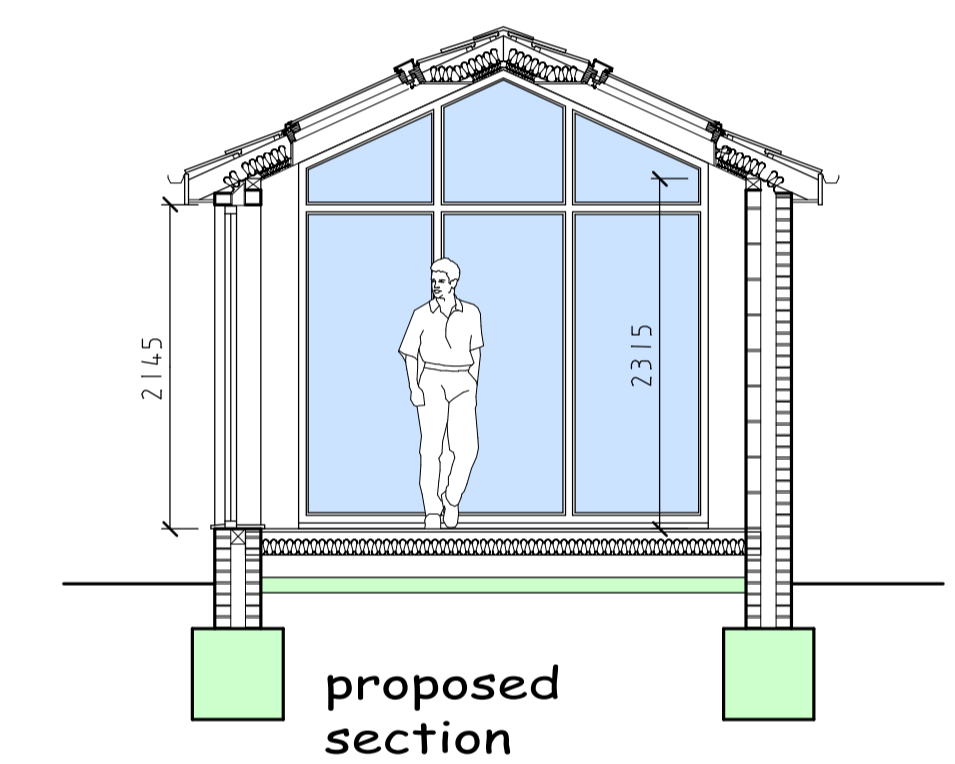
Ground Floor Construction:
 22mm tongue and groove moisture resistant flooring grade chipboard or softwood floorboards to clients discretion on 150 x 75mm joists @ 400 centres over min 150mm air space over 100mm concrete oversite concrete. 100mm celotex GA4000 insulation suspended between joists. 225 x 75 air bricks and liners at 2000mm to ventilate sub floor

External Walls traditional:
 100mm brickwork outer leaf to match existing 100mm cavity with cavity wall batts - 100mm thermalite block inner leaf dry lined in 12.5mm plasterboard and skim on Drywall dabs. Stainless steel double triangle wall ties (min 59mm embedment) 750mm horizontal c/c & 450 vertical c/c staggered and doubled up at all window and door reveals. Cavities to be closed at all reveals and at eaves - using Thermabate insulated cavity closers. NB all masonry below ground level to be in concrete common brick. DPC to be fixed at min 150mm above ground level. Provide cavity fill to 225mm below damp proof course.

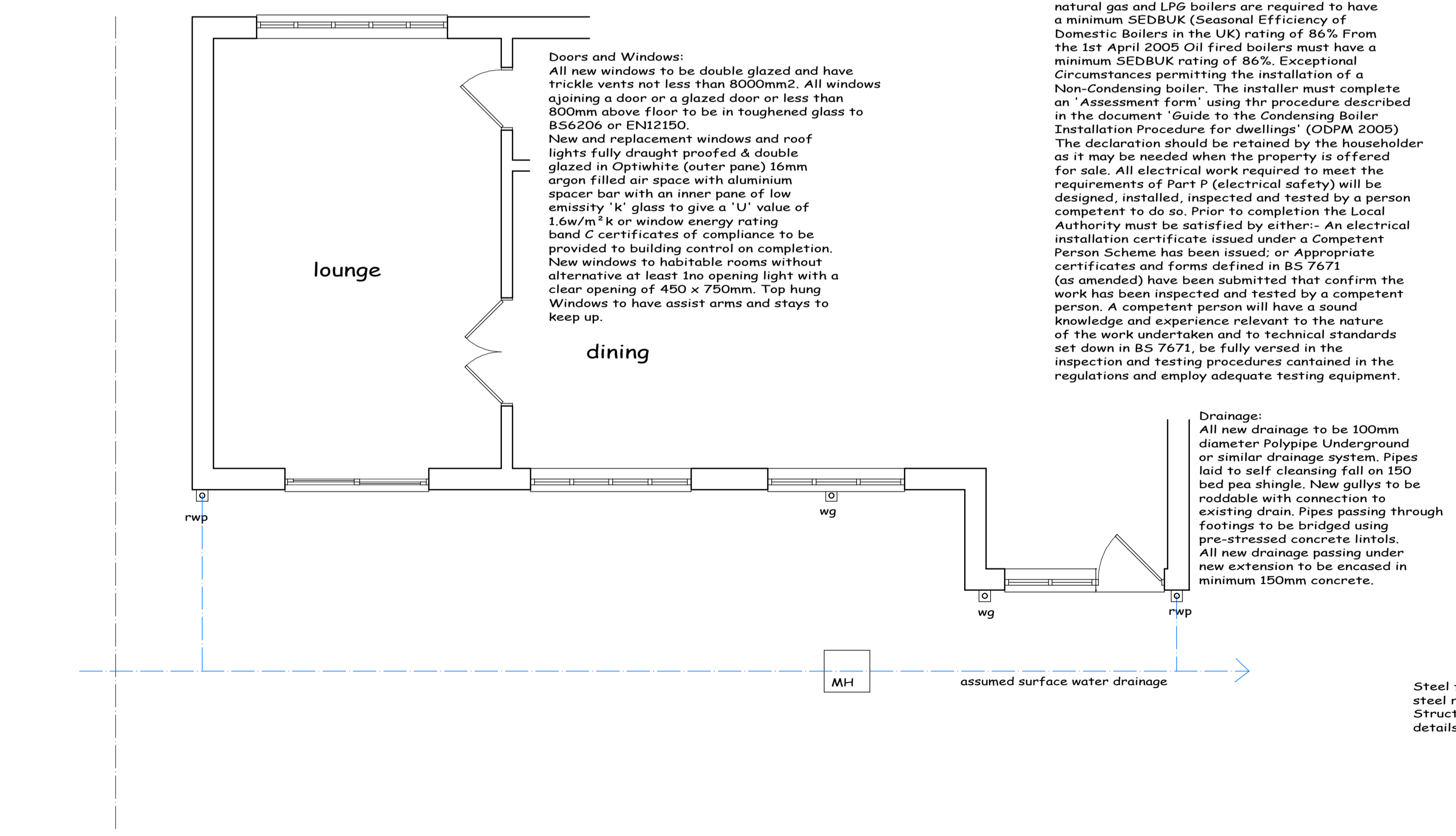
Roof Construction: Unvented Cold Roof
 Concrete roof tiles on 38 x 25mm tanalised battens on Du Pont Tyvek breathable roof membrane on 150 x 50 rafters @ 400 centres. 100 x 50 ceiling joists @ 400 centres. 100 x 75 wall plates bedded on and strapped to blockwork @ 2000mm centres. 300mm Rockwool insulation laid in 2no layers between and across ceiling joists - pack eaves with insulation. Ceiling joists underdrawn 12.5mm plasterboard and skim.
Vaulted roof section.
 Fix 100mm Celotex tuff R insulation tight between rafters ensuring 50mm air space is maintained over insulation. Fix 35mm Celotex insulation across rafters to eliminate cold bridging - 500 gauge visqueen vapour barrier over insulation - fix 12.5mm plasterboard with 3mm plaster skim.



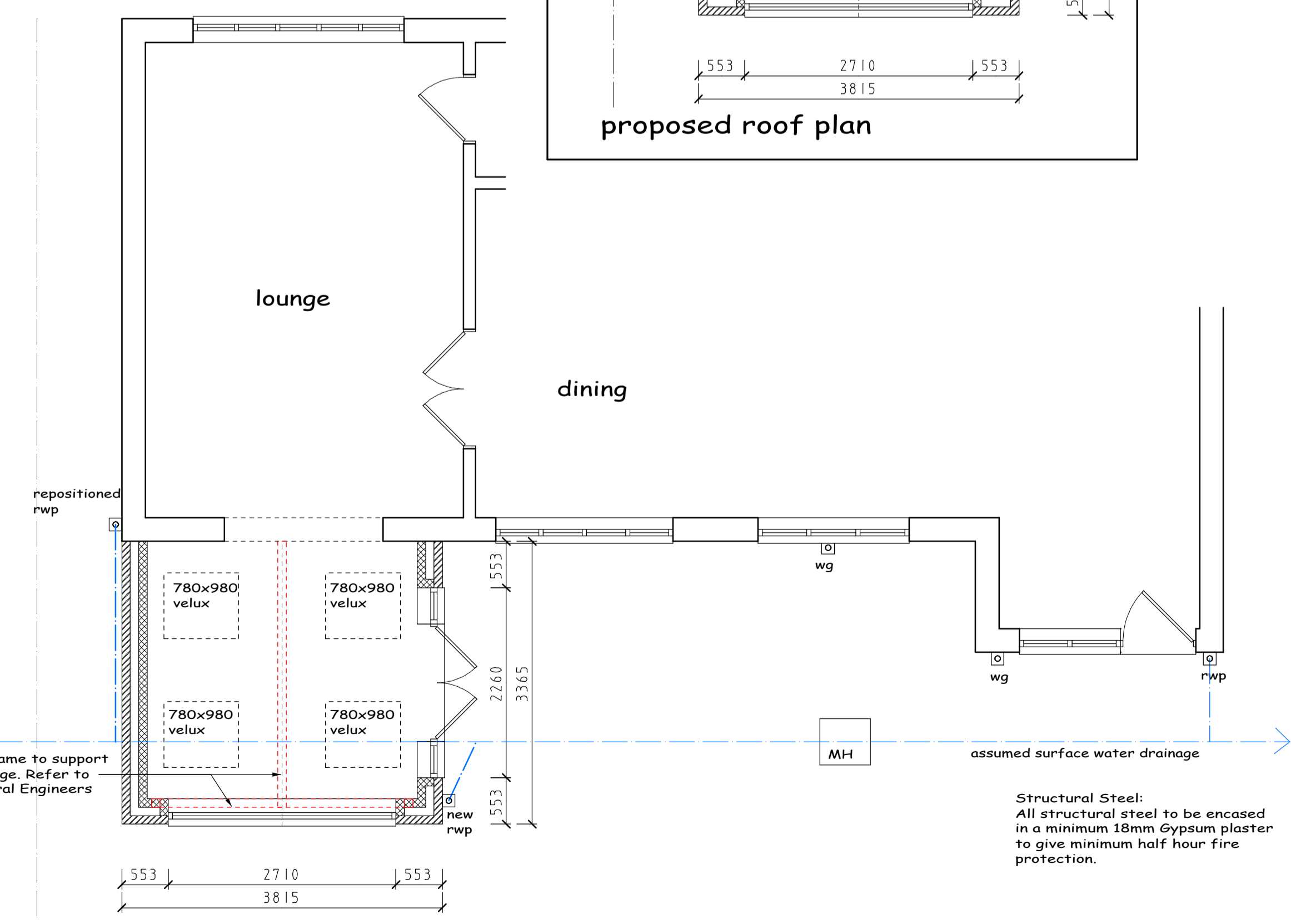
proposed roof plan



proposed section



Part existing ground floor plan



Part proposed ground floor plan

This drawing has been prepared for the sole purpose of obtaining Planning Permission and Building Regulations Approval (DAS). All structural calculations are to be checked by structural engineer prior to construction.

All dimensions & details are to be checked on site prior to construction, any discrepancies reported to ExtensionsNW prior to any work undertaken. Any work undertaken prior to full planning & building regulation approval is at the builders own risk. ExtensionsNW will not be held responsible for any problems arising.

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 Plotted on 02/05/2023
 ExtensionsNW reserves the right to modify and make necessary alterations dependent on site conditions.

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C	
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DATE	
SCALE	1:50
DATE	Feb 13
DRAWN	JDJ P.P B.R
CUSTOMER	
PROJECT	Extension to the Rear
LOCATION	
LOCAL AUTHORITY	

Extensions NW

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JOB No. REV.