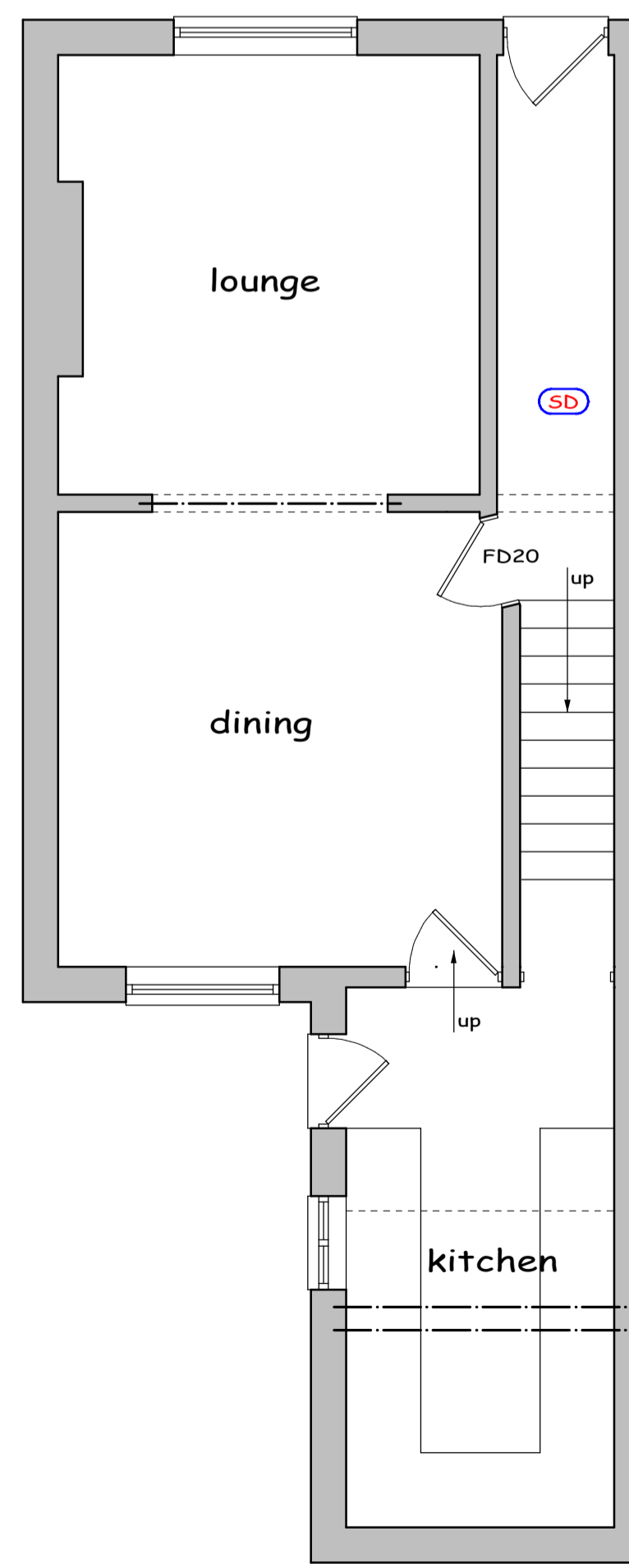
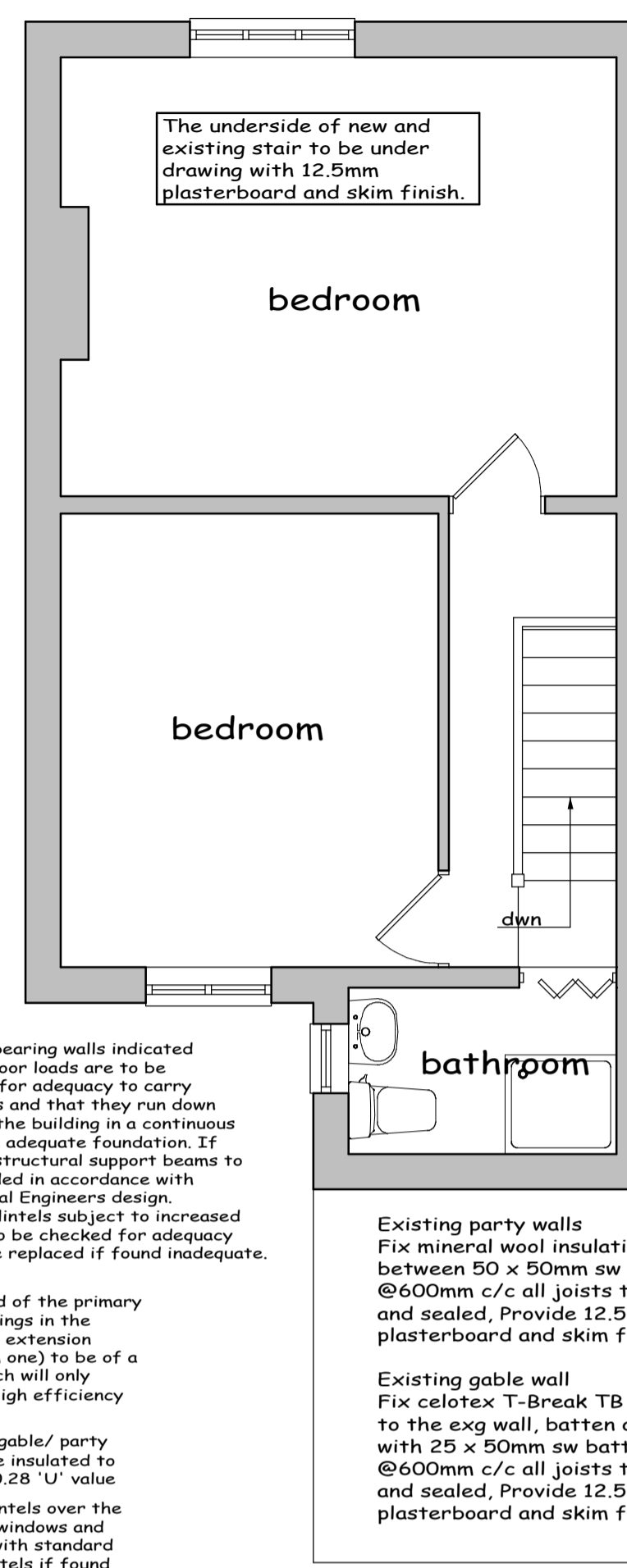


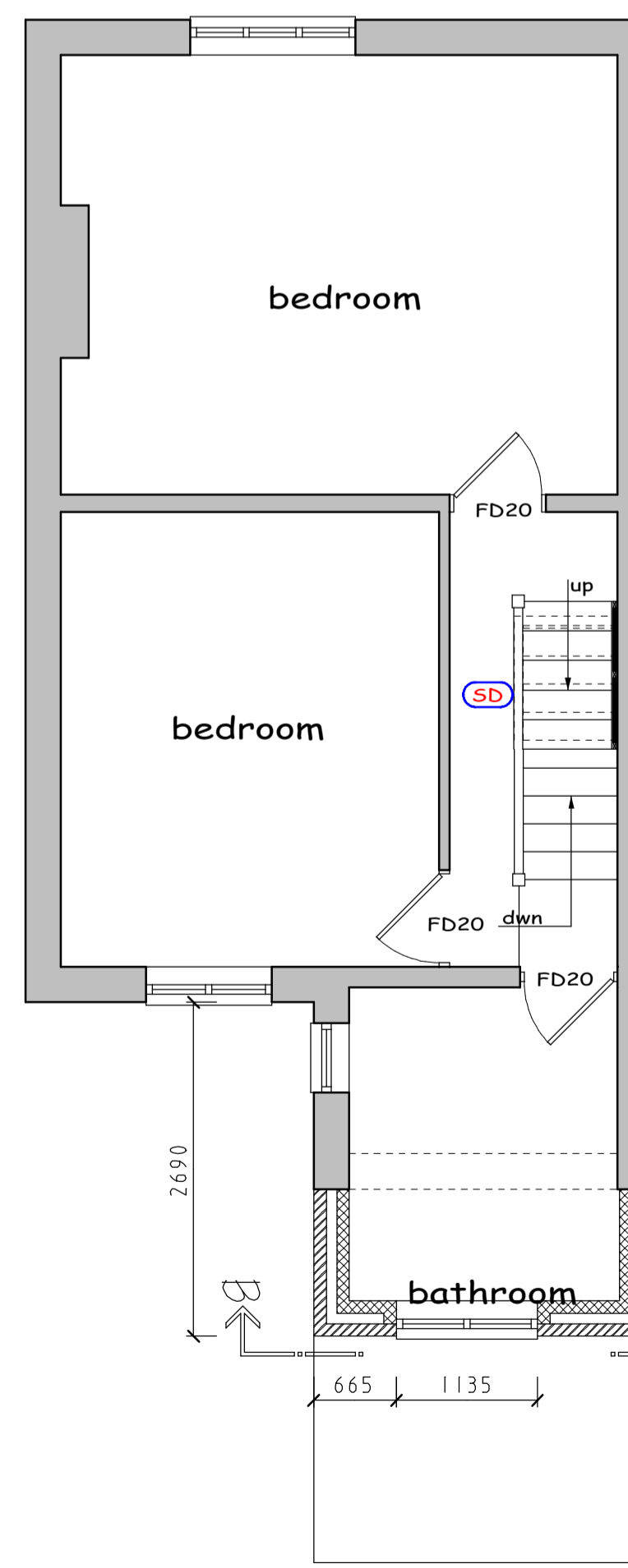
existing ground floor plan



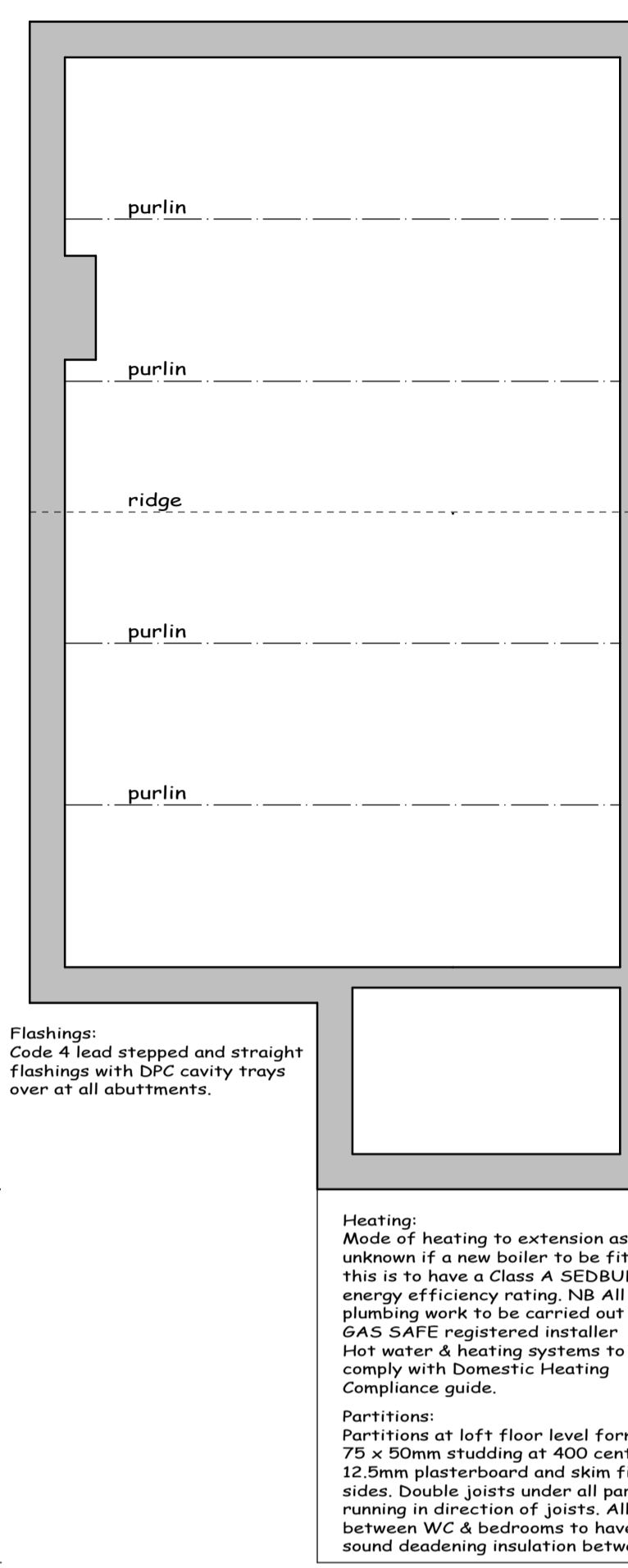
proposed ground floor plan



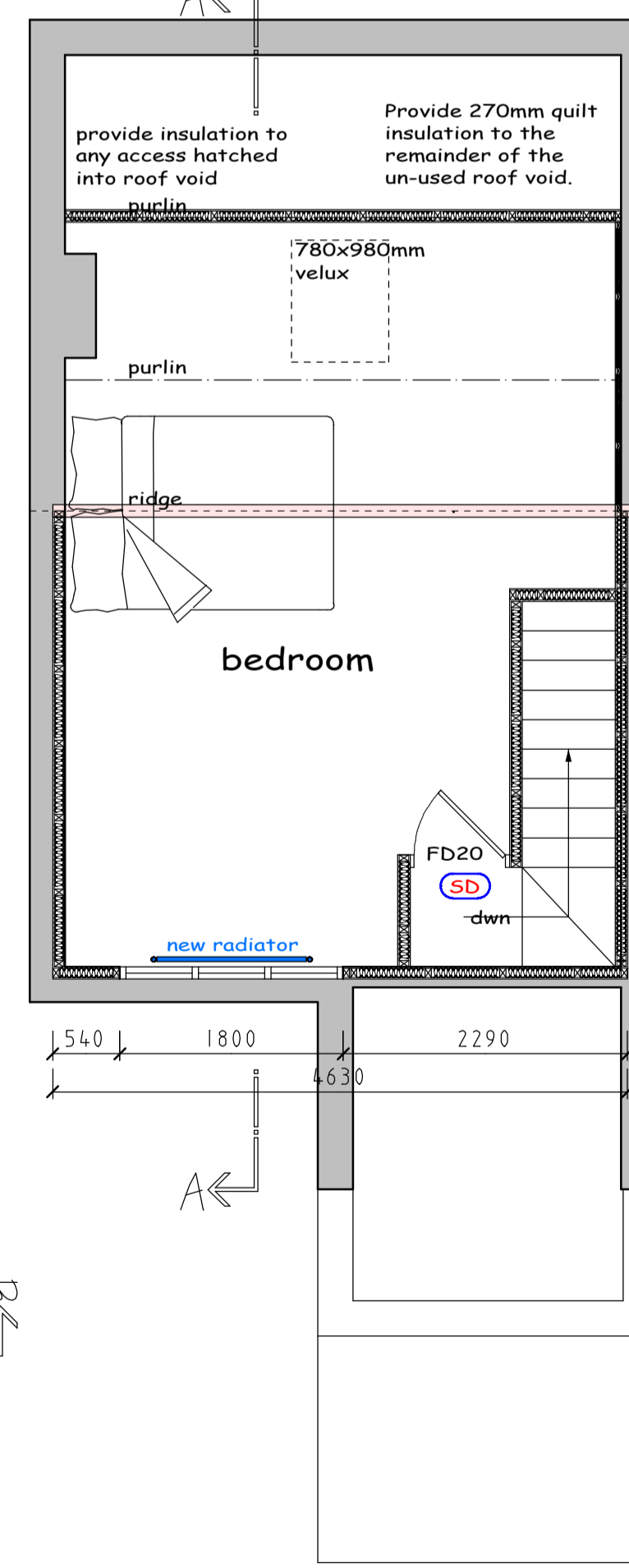
existing first floor plan



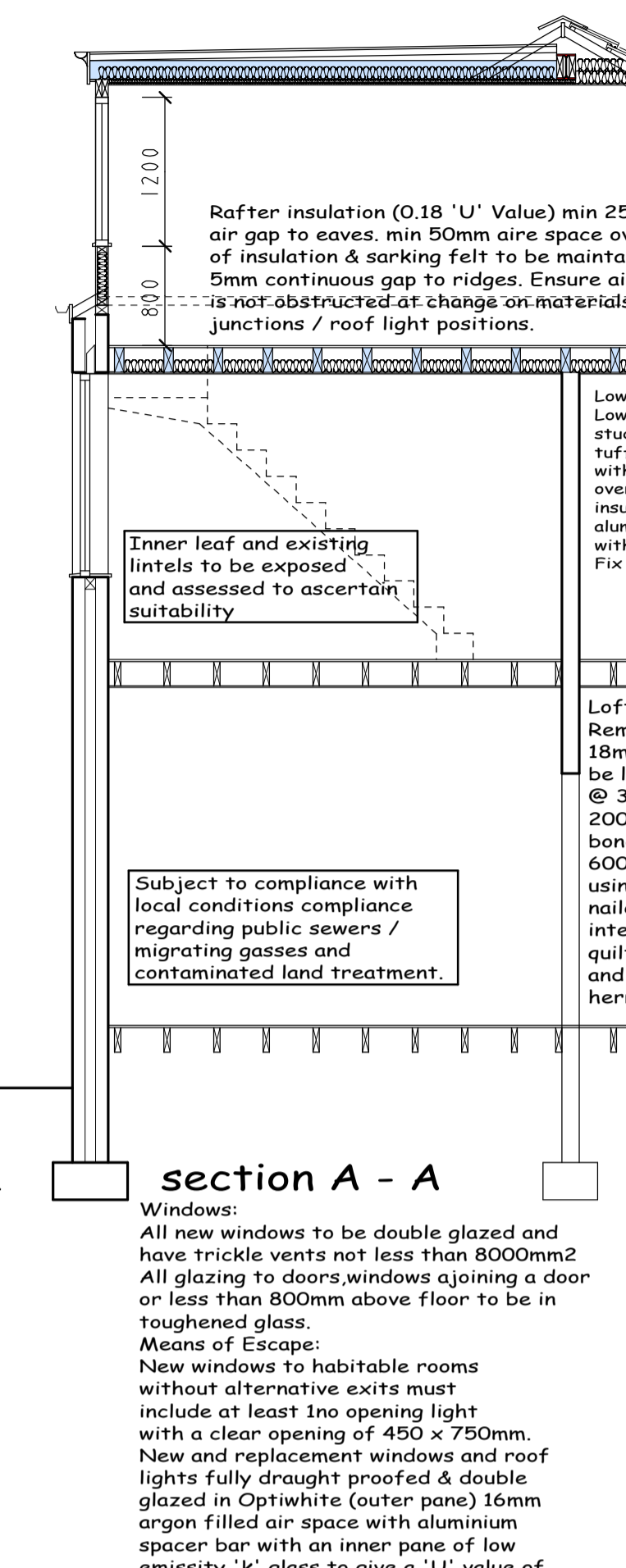
proposed first floor plan



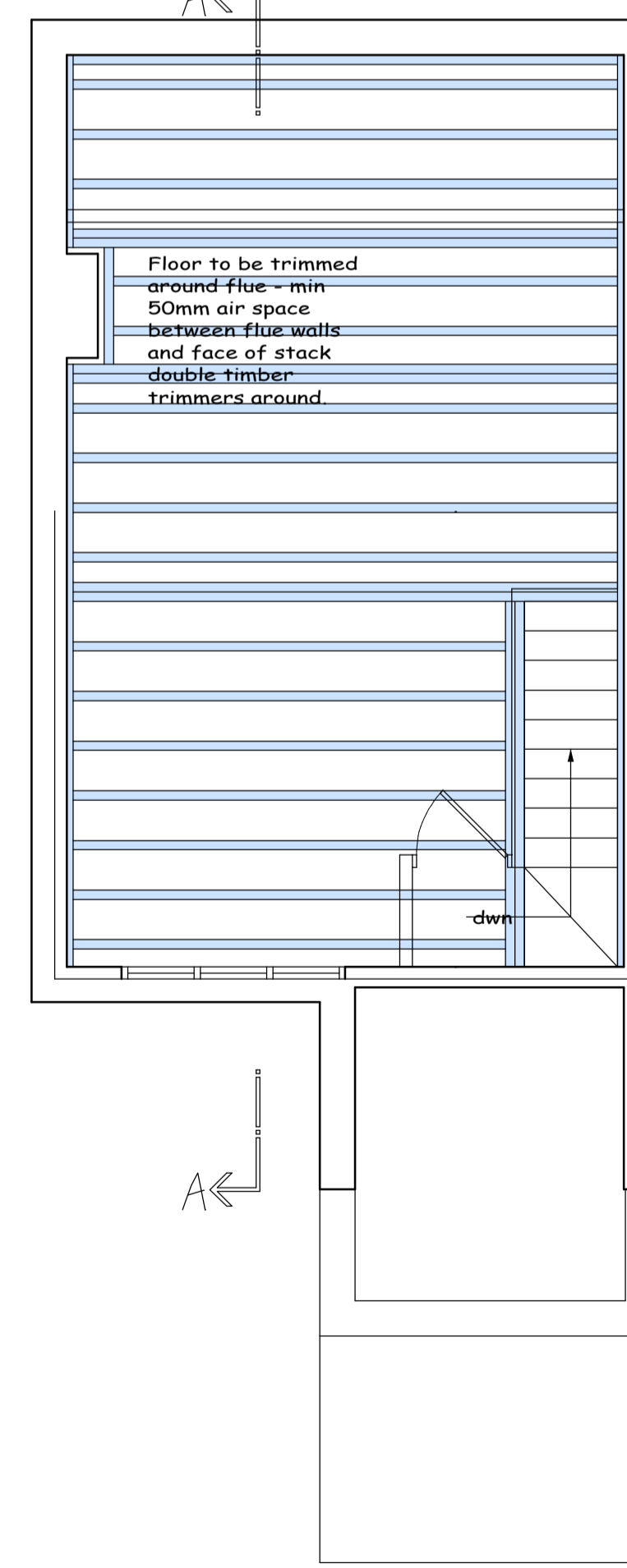
existing loft plan



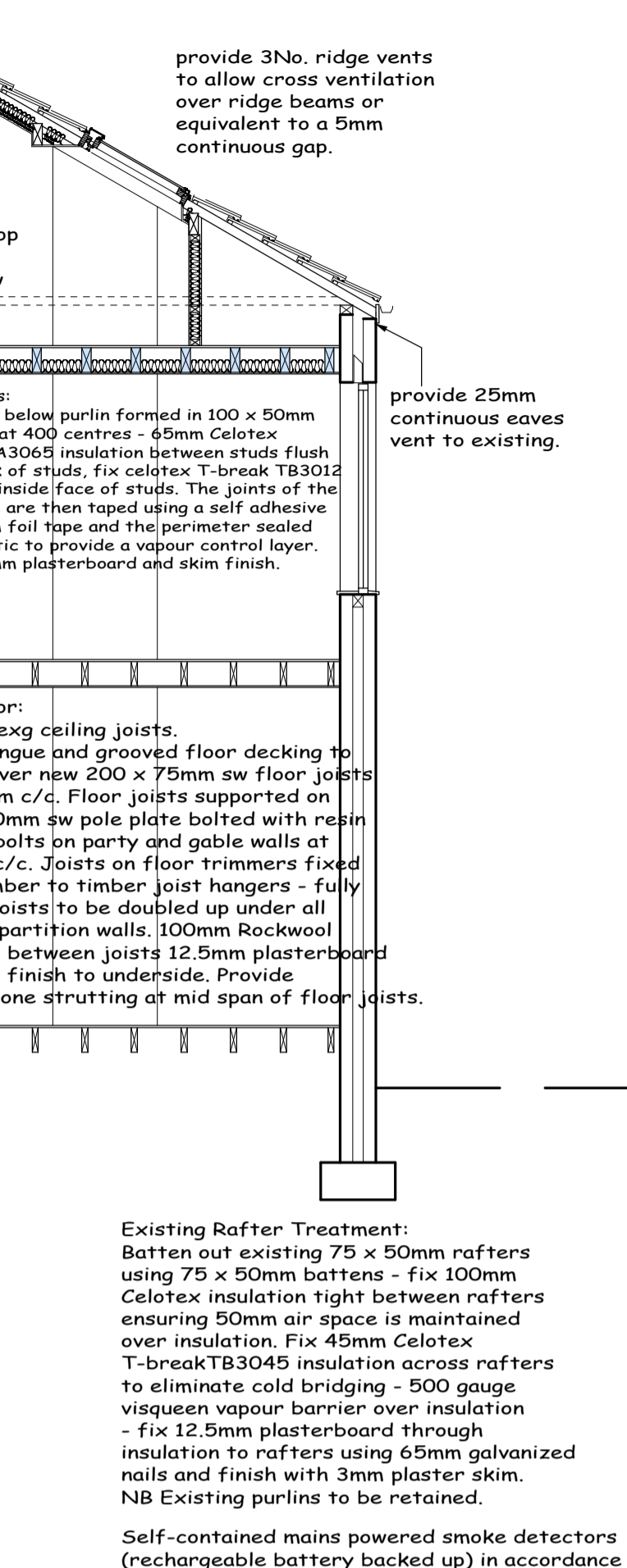
proposed loft plan



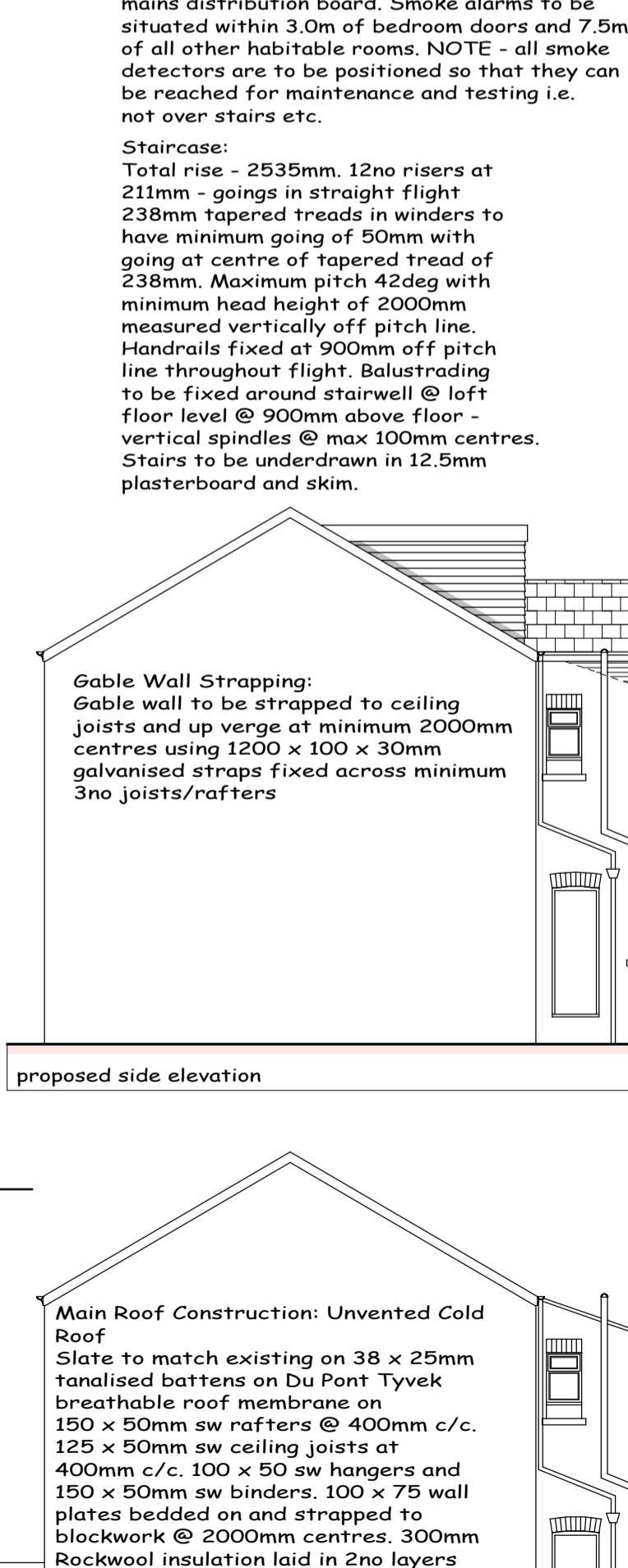
proposed left floor plan



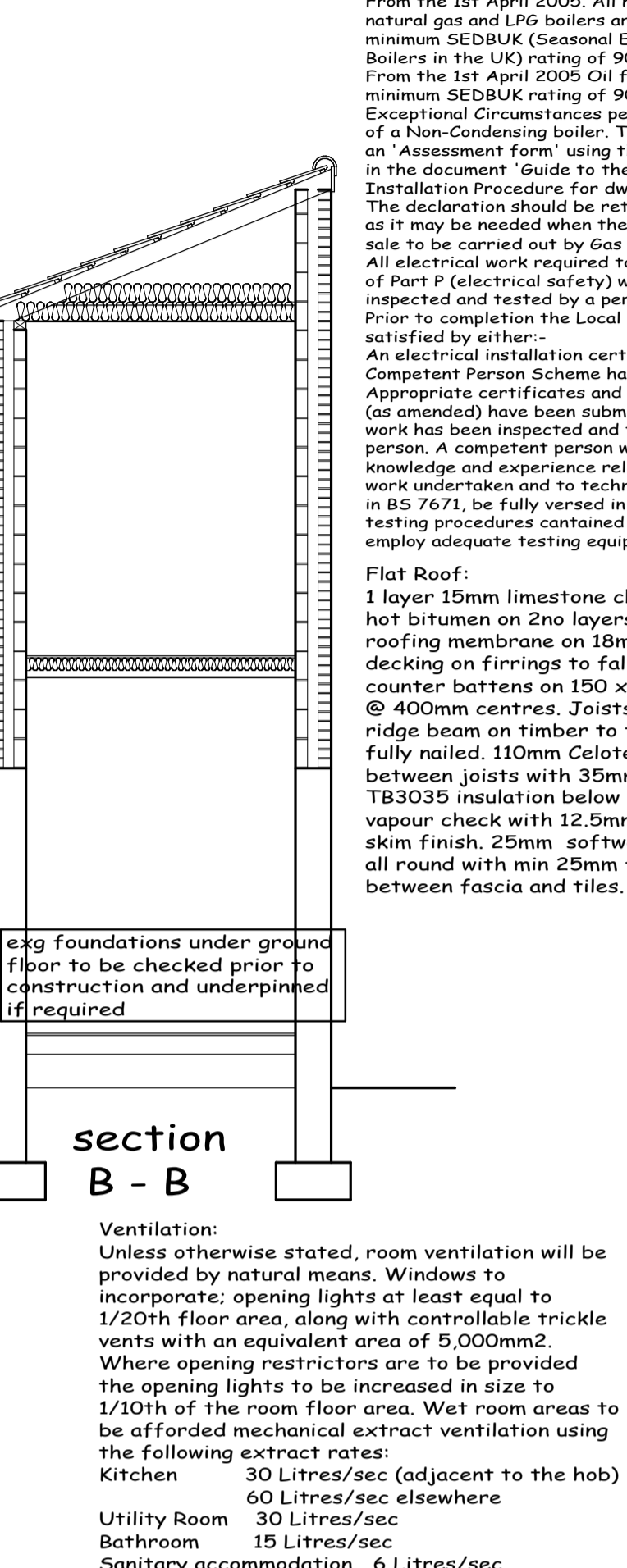
proposed left floor plan



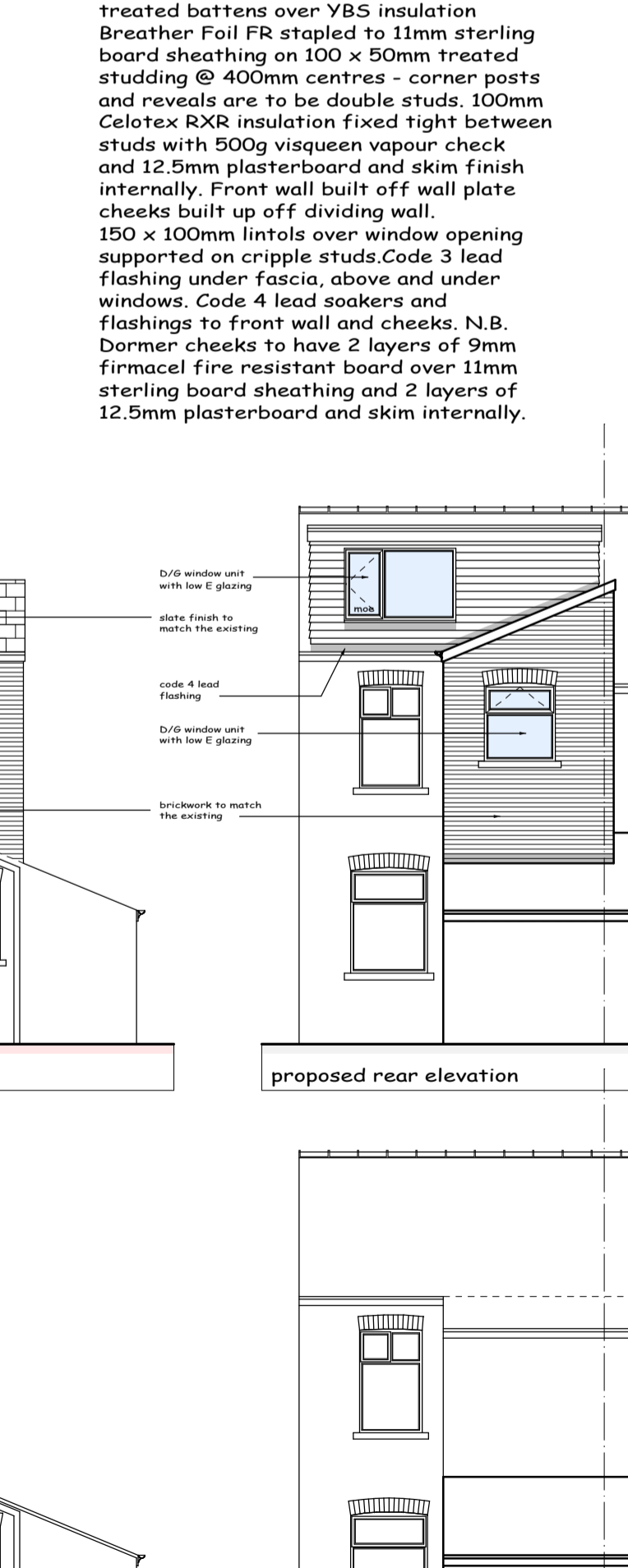
proposed side elevation



proposed side elevation



proposed rear elevation



proposed rear elevation

APPROVED DOCUMENT L1 (2009)  
From the 1st April 2005, All new and replacement natural gas and LPG boilers are required to have a minimum SEDBUK (Seasonal Efficiency of Domestic Boilers in the UK) rating of 90%.  
From the 1st April 2005 Oil fired boilers must have a minimum SEDBUK rating of 90%.  
Exceptional Circumstances permitting the installation of a Non-Condensing boiler. The installer must complete an 'Assessment Form' using the procedure described in the document 'Guide to the Condensing Boiler Installation Procedure for dwellings' (ODM 2005).  
The declaration should be retained by the householder as it may be needed when the property is offered for sale to be carried out by a Gas Safe Engineer.  
All electrical work required to meet the requirements of Part P (electrical safety) will be designed, installed, inspected and tested by a person competent to do so. Prior to completion the Local Authority must be satisfied by either:-  
An electrical installation certificate issued under a Competent Person Scheme has been issued; or  
Appropriate certificates and forms defined in BS 7671 (as amended) have been submitted that confirm the work has been inspected and tested by a competent person. A competent person will have a sound knowledge and experience relevant to the nature of the work undertaken and to technical standards set down in BS 7671, be fully versed in the inspection and testing procedures contained in the regulations and employ adequate testing equipment.

Flat Roof:  
1 layer 15mm limestone chippings bedded in hot bitumen on 2no layers torch on elastomeric roofing membrane on 18mm sterling board decking on 150 x 50mm horizontal c/c & 450 vertical c/c staggered and doubled up at all window and door reveals. Cavities to be closed at all reveals and at eaves - using Thermobate insulated cavity closers. NB all masonry below ground level to be in concrete common brick. DPC to be fixed at min 150mm above ground level. Provide cavity fill to 225mm below damp proof course.

Drainage:  
New drains bridged where passing through footings. Drains passing under building to be enclosed in 150mm concrete. All new drainage to be 100mm diameter Polypropylene Underground or similar drainage system. Pipes laid to self cleaning fall on 150 bed pvc shingle. New gullies to be roddable NB Drainage systems to be checked on site to determine - combined or separate systems - if separate ensure fall and surface water are connected to correct drainage system.

Existing Lintels:  
All existing lintels to be checked for suitability and replaced with approved Catnic insulated lintol to suit situation.  
Existing foundations to be exposed and inspected by Local Authority Building Control Officer for suitability to take additional loading prior to commencement.

External Walls traditional:  
100mm brickwork outer leaf to match existing 50mm air gap with 50mm celotex CW4000 insulation to the cavity - 100mm thermalite Hi-strength 7 block inner leaf dry lined in 9.5mm plasterboard and skim on Drywall dabs. Stainless steel double triangle wall ties (min 59mm embedment) 750mm horizontal c/c & 450 vertical c/c staggered and doubled up at all window and door reveals. Cavities to be closed at all reveals and at eaves - using Thermobate insulated cavity closers. NB all masonry below ground level to be in concrete common brick. DPC to be fixed at min 150mm above ground level. Provide cavity fill to 225mm below damp proof course.

First Floor Construction:  
18mm tongue and groove moisture resistant flooring grade chipboard or softwood floorboards to clients discretion screwed down on 150 x 50mm joists @ 400 centres 150mm Celotex GA3000 between joists to give U value of .22 to floor.  
Provide 2no rows of herringbone strutting at third span of joists  
Underdrawn joists in 12.5mm plasterboard and skim. NB Minimum board weight 10kg/m<sup>2</sup>

Staircase:  
Total rise - 2535mm. 12no risers at 211mm - goings in straight flight  
238mm tapered treads in winders to have minimum going of 50mm with going at centre of tapered tread of 238mm. Maximum pitch 42deg with minimum head height of 2000mm measured vertically off pitch line. Handrails fixed at 900mm off pitch line throughout flight. Balustrading to be fixed around stairwell @ loft floor level @ 900mm above floor vertical spindles @ max 100mm centres. Stairs to be underdrawn in 12.5mm plasterboard and skim.

Gable Wall Strapping:  
Gable wall to be strapped to ceiling joists and up verge at minimum 2000mm centres using 1200 x 100 x 30mm galvanised straps fixed across minimum 3no joists/rafters

Main Roof Construction: Unvented Cold Roof  
Slate to match existing on 38 x 25mm tanalised battens on Du Pont Tyvek breathable roof membrane on 150 x 50mm sw rafters @ 400mm c/c. 125 x 50mm sw ceiling joists at 400mm c/c. 100 x 50 sw hangers and 150 x 50mm sw binders. 100 x 75 wall plates bedded on and strapped to blockwork @ 200mm centres. 300mm Rockwool insulation laid in 2no layers between and across ceiling joists - pack eaves with insulation. Ceiling joists underdrawn 9.5mm plasterboard and skim.

This drawing has been prepared for the sole purpose of obtaining Planning Permission and Building Regulation Approval (DNL). All structural calculations are to be checked by structural engineer prior to construction.

All dimensions & details are to be checked on site prior to construction, any discrepancies reported to ExtensionsNW prior to any work undertaken. Any work undertaken prior to full planning & building regulation approval is at the builder's own risk. ExtensionsNW will not be held responsible for any problems arising.

This drawing is the copyright of ExtensionsNW and any reproduction in whole or part is strictly forbidden.  
Printed on 02/05/2013  
ExtensionsNW reserves the right to modify and make necessary alterations dependent on site conditions.

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C			
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A			
DATE			

SCALE	1:50	DATE	May 11
DRAWN	JDJ	PP	BR
CUSTOMER			
PROJECT	Loft Conversion and 1st Floor Extension		
LOCATION			
LOCAL AUTHORITY			

**Extensions**  
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