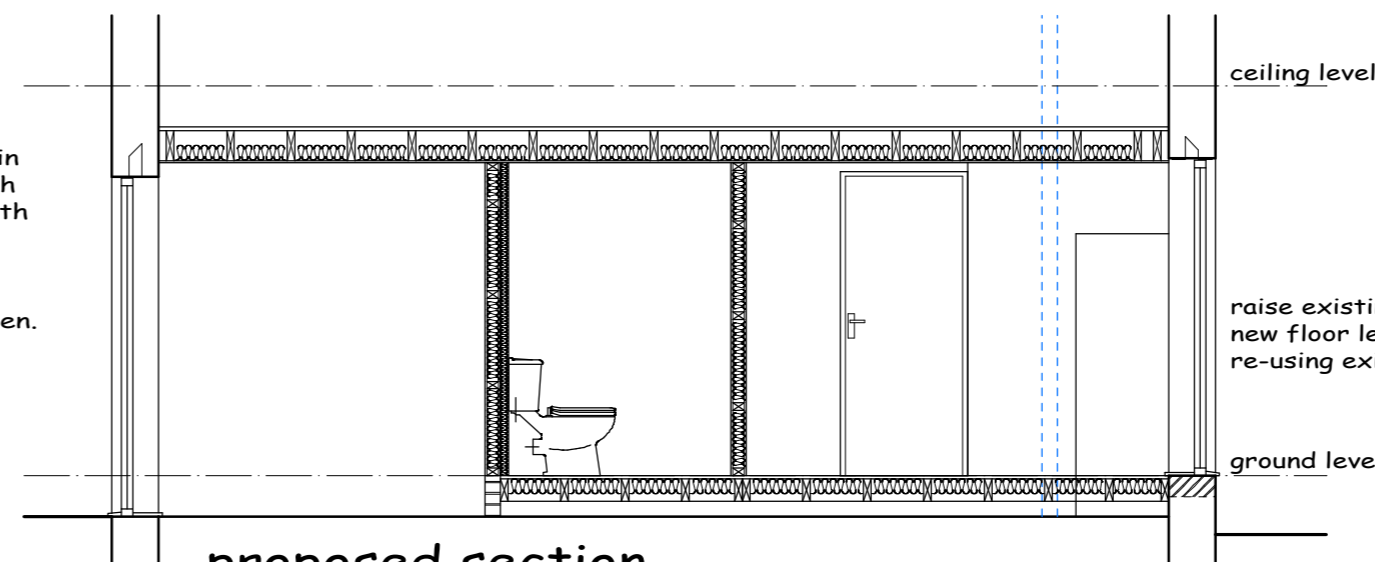


existing section



proposed section

**Ventilation:**  
 Unless otherwise stated, room ventilation will be provided by natural means. Windows to incorporate; opening lights at least equal to 1/20th floor area, along with controllable trickle vents with an equivalent area of 5,000mm<sup>2</sup>. Where opening restrictors are to be provided the opening lights to be increased in size to 1/10th of the room floor area. Wet room areas to be afforded mechanical extract ventilation using the following extract rates:  
 Kitchen 30 Litres/sec (adjacent to the hob)  
 60 Litres/sec elsewhere  
 Utility Room 30 Litres/sec  
 Bathroom 15 Litres/sec  
 Sanitary accommodation 6 Litres/sec.  
 In addition, controllable trickle vents with equivalent area of area of 2,500mm<sup>2</sup>.  
 All extracts to open air.

**Drainage:**  
 New drains bridged where passing through footings. Drains passing under building to be encased in 150mm concrete. All new drainage to be 100mm diameter Polypipe Underground or similar drainage system. Pipes laid to self cleansing fall on 150 bed pea shingle. New gullies to be roddable NB Drainage systems to be checked on site to determine - combined or separate systems - if separate ensure foul and surface water are connected to correct drainage system.

**Heating:**  
 Mode of heating to extension as yet unknown if a new boiler to be fitted this is to have a Class A SEDBUK energy efficiency rating. NB All plumbing work to be carried out by GAS SAFE registered installer Hot water & heating systems to comply with Domestic Heating Compliance guide.

**Garage Conversion Floor Construction:**  
 18mm tongue and groove moisture resistant flooring grade chipboard or softwood floorboards to clients discretion on 150 x 50mm sw floor joists @ 400mm c/c supported on sw bearers laid onto DPM level over existing garage concrete slab. 100mm Celotex RXR insulation cut tight between joists

**Dividing Partition:**  
 Partition between shower room and garage to be constructed with 100 x 50mm studding at 400 centres with 12.5mm plasterboard and skim finish garage sides, 100mm celotex GA300 insulation to be fixed between studs with 45mm celotex TB3000 insulation fixed to the room side with 12.5mm plasterboard skim finish.

**External walls:**  
 Provide 45mm celotex insulation fixed to the room side with 12.5mm plasterboard skim finish to all external cavity walls.

Primary and secondary heating systems (new and replacement installations)

Primary - main heating and hot water system e.g. main boiler; secondary - localised heating provisions e.g. gas fire/ solid fuel fire / stoves. Both types of appliances efficiency and controls, whether as a new installation or replacement for an existing system must be designed, installed and commissioned in strict accordance the 'Building Services Compliance Guide' published by the department for communities and Local Government. You are advised to check with the boiler manufacturer as to the appropriate controls to be used to achieve Approved Document L1 compliance to avoid system problems. (see appropriate extract) Requirements for certain Gas and Solid fuel Appliances are included below - for systems not covered fully comply with the 'Building Services Compliance Guide'. (Available on TMBC's Building Control Web Page) Any new gas boiler to be minimum 90% SEDBUK Condensing wall mounted with balanced flue/stainless steel guard to outlet.

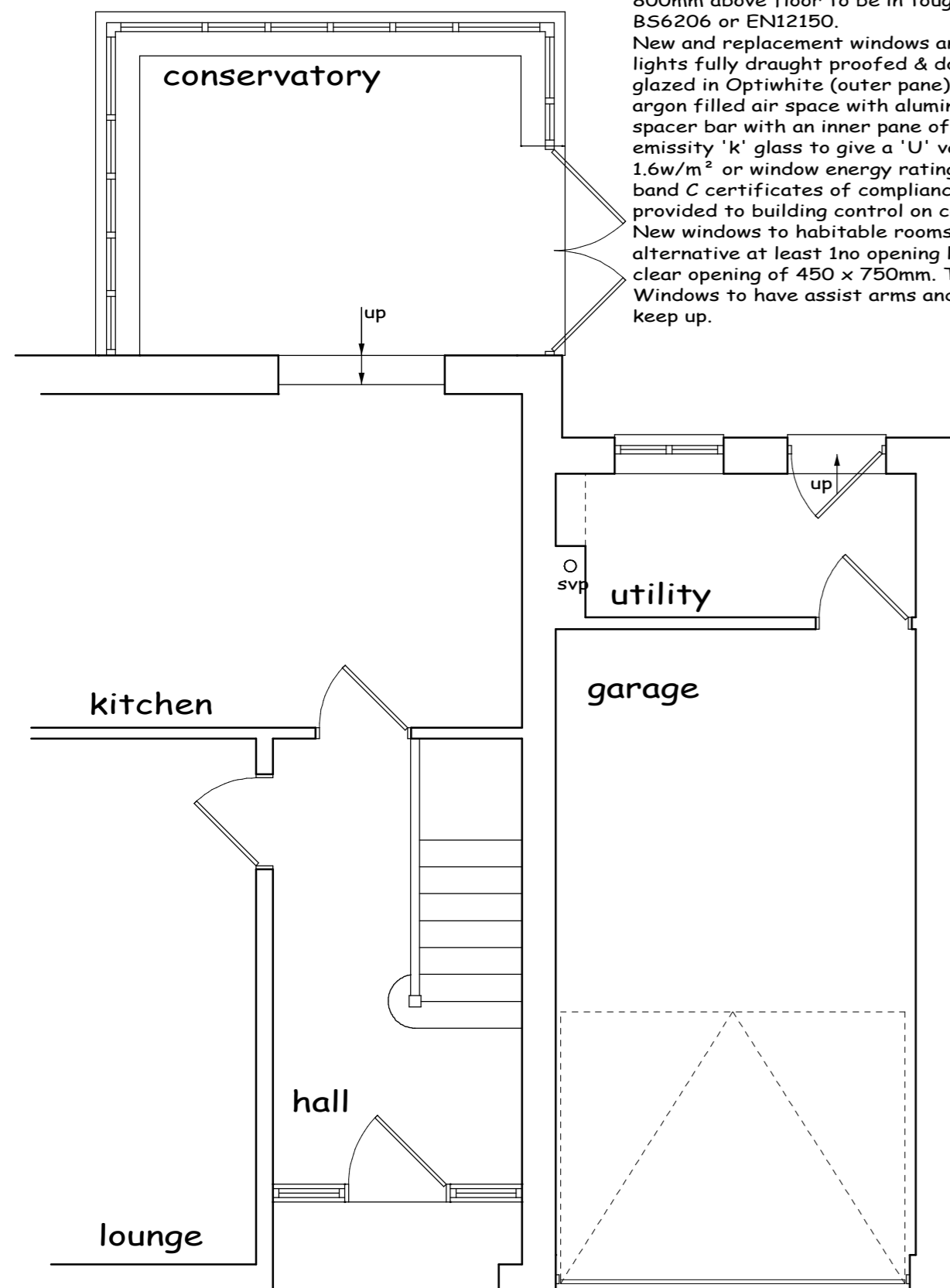
Lighting. (Energy Saving Provisions)  
 To any new wiring system or when REWIRING an existing lighting system - install energy efficient light fittings as follows. (NOTE. Fluorescent or compact fluorescent light fittings meet this standard. GLS tungsten lamps with bayonet caps or screw bases or tungsten halogen lamps are not acceptable). Fixed Internal Lighting: Install energy efficient light fittings that only take lamps having a luminous efficacy greater than 45 lumens per circuit-watt (power consumed) and a total output greater than 400 lamp lumens. Light fittings with supplied power less than 5 circuit-watts are excluded from the overall count of total light fittings below: i.e. pin base fitting only to ensure only energy efficient fittings can be replaced. Provisions: Not less than 3 per four of ALL the light fittings in the main dwelling spaces (excluding infrequent il accessed storage spaces and cupboards).

NOTES.  
 a) Be careful when considering the use of mains frequency fluorescent lighting in garages, as they can cause strobing issues with machine tools and vehicles.

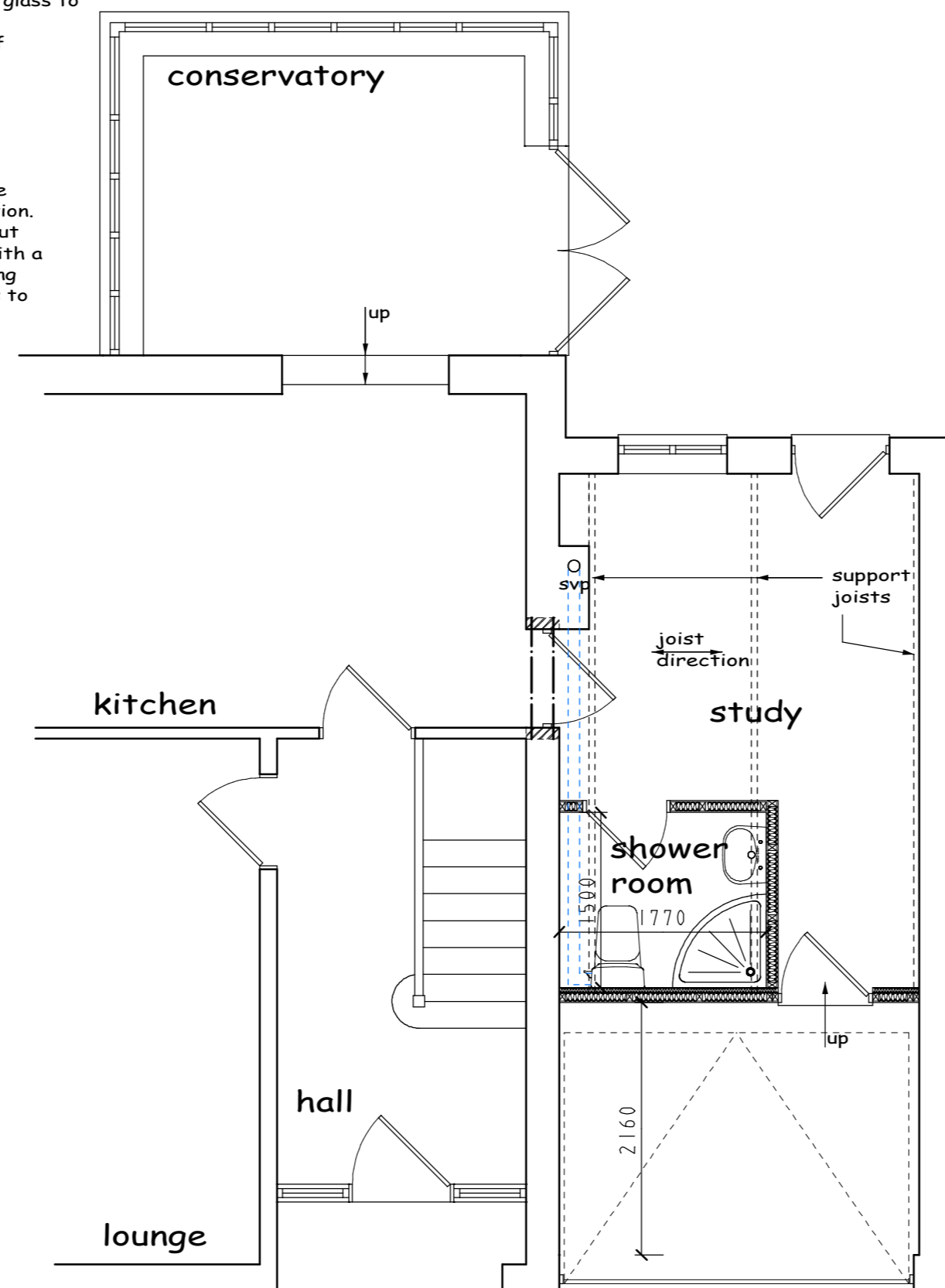
Fixed External Lighting (Excludes flats common areas and other communal access-way lighting):

- Provisions:  
 a) EITHER: lamp capacity not to exceed 100 watts per light fitting and fitting to have automatically daylight and motion sensor fitted or  
 b) Fittings to have sockets capable of only using lamps with an efficacy greater than 45 lumens per circuit-watt fitted with automatic daylight sensors and must be switched controlled.

**Doors and Windows:**  
 All new windows to be double glazed and have trickle vents not less than 8000mm<sup>2</sup>. All windows adjoining a door or a glazed door or less than 800mm above floor to be in toughened glass to BS6206 or EN12150. New and replacement windows and roof lights fully draught proofed & double glazed in Optiwhite (outer pane) 16mm argon filled air space with aluminium spacer bar with an inner pane of low emissivity 'k' glass to give a 'U' value of 1.6w/m<sup>2</sup> or window energy rating band C certificates of compliance to be provided to building control on completion. New windows to habitable rooms without alternative at least 1no opening light with a clear opening of 450 x 750mm. Top hung Windows to have assist arms and stays to keep up.



Part existing ground floor plan



Part proposed ground floor plan

This drawing has been prepared for the sole purpose of obtaining Planning Permission and Building Regulation Approval ONLY. All structural calculations are to be checked by structural engineer prior to construction.

All dimensions & details are to be checked on site prior to construction, any discrepancies reported to ExtensionsNW prior to any work undertaken. Any work undertaken prior to full planning & building regulation approval is at the builders own risk. ExtensionsNW will not be held responsible for any problems arising.

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DATE	

SCALE	1:50	DATE	June 12
DRAWN	JDJ	P.P	B.R
CUSTOMER			

PROJECT  
Garage Conversion

LOCATION

LOCAL AUTHORITY

**Extensions**  
NW

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 Web: www.extensionsnw.co.uk E-mail: jae@extensionsnw.co.uk

JOB No. REV.